

Colonial Traditions Lot 7 – Final Plat

Staff Report: Andy Bauer
Application #:ZA26-000007

Planning Commission Meeting Date: February 24, 2026
Applicant: Dewberry
Engineers
Property Location: Colonial Traditions PUD

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

SUMMARY OF REQUEST

The applicant seeks Final Subdivision Plat approval to split Lot 7 into two lots. The property is in the middle of Traditions Way and is zoned General Business with a PUD Overlay.

EXISTING CONDITIONS AND SURROUNDING CONTEXT

The property is currently vacant wooded. The surrounding zoning districts and land uses are as follows:

- North – General Business –PUD Overlay / Vacant land part of Colonial Traditions PUD
- South – General Business –PUD Overlay / Colonial Traditions Clubhouse & Amenities
- East – General Business – PUD Overlay / Townhouses (under construction) & Vacant Land
- West – General Business –PUD Overlay / Vacant Land

BACKGROUND

Development Timeline

- **2006** – The Planning Commission granted Preliminary and Final Subdivision Plat approval to subdivide 188 acres into eight lots.
- **2007** – Lots 3-8 of Colonial Traditions Subdivision were rezoned from BG-General Business to BG/Planned Unit Development (PUD) Overlay, and a PUD Master Plan was approved. The Master Plan for the 121-acre development identified a mixture of single-family and multi-family residential uses and building types, with a maximum of 1,208 units. The PUD overlay reduced density from 20 units per acre allowed by the BG Zoning District to 10 units per acre.
- **2008** – The PUD was amended to include lots 1 & 2 of Colonial Traditions Subdivision. Lots 1 & 2 are two commercial lots with frontage along Alabama State Highway 59.
- **2016** – The City Council re-activated the Colonial Traditions PUD.
- **2020 to 2021** - The Planning Commission granted Preliminary and Final Subdivision Plat approval for a 20-lot single-family subdivision on Lot 6 of the Colonial Traditions PUD (Phase 1).
- **2021 to 2022** – The Planning Commission granted Preliminary and Final Subdivision Plat approval for a 50-lot single-family subdivision on a portion of Lot 3 of Colonial Traditions PUD (Phase 2).
- **March 10, 2025** - The City Council approved a Major Planned Unit Development (PUD) Amendment on Lot 7 of Colonial Traditions PUD for 106, single-family attached and detached units on 18.40 acres.
- **November 6, 2025** – City staff, in accordance with Article 15-6., H. Amendments, of the Zoning Ordinance approved a Minor PUD Amendment affecting Lot 7 of Colonial Traditions PUD. The amendment will allow Lot 7 to consist of 87 single-family attached and detached units (38 townhomes and 49 single family homes) on 18.40 acres and authorize the project to be completed and platted in two phases.

PUBLIC NOTIFICATION

This application was advertised as required by Section 4-2 of the Subdivision Regulations. As of the date of the writing of the staff report, staff have received correspondence from numerous citizens. The citizens have questions and concerns about the state of the infrastructure, emergency access, and utilities.

ZONING

Colonial Traditions PUD Master Plan indicates Lot 7 is designated for single family uses. The adopted Land Development Handbook allows Lot 7 to be developed with townhomes, courtyard lots, and cottage

lots. The overall development is not allowed to exceed 10 units per acre with each phase not exceeding 20 units per acre.

PROPOSED SUBDIVISION PLAN

According to the applicant, the purpose of the subdivision is to divide Lot 7 into two lots so each lot may be sold and developed. The subdivision is classified as a Minor Subdivision, because the proposed subdivision fronts on existing improved streets and does not require the installation of new streets, utilities or other public improvements. Specifics of the proposed subdivision are as follows:

- Zoning: BG/PUD Overlay
- Total Land Area: 18.39 acres
- Proposed Number of Lots: 2 Lots
- Largest Lot: 10.63 acres
- Smallest Lot: 7.76 acres

ANALYSIS

Subdivision Regulations: The subdivision complies with the Minor Plat standards set forth in the Subdivision Regulations.

Department and Agency Reviews:

The Fire Marshal and Engineering Department have reviewed and approved the plat.

RECOMMENDATION

Staff recommends approval of the Final Subdivision Plat with the following condition:

1. The roadway labeled Colony Circle on the plat shall be changed to "Traditions Way" prior to recordation of the plat.

MOTION FOR CONSIDERATION

I make a motion to approve Lot 7 Final Subdivision Plat with staff recommendations.

Attachments: Plans, Draft Resolution

RESOLUTION ZA26-000007
Lot 7 Colonial Traditions Subdivision: Final Plat

THEREFORE, BE RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF GULF SHORES, ALABAMA, WHILE IN REGULAR SESSION ON FEBRUARY 24, 2026, as follows:

By a vote of 0-0, the Gulf Shores Planning Commission approved the request for the final plat to subdivide one lot into two lots with the following conditions:

1. The roadway labeled Colony Circle on the plat shall be changed to “Traditions Way” prior to recordation of the plat.

This Resolution shall become effective upon its adoption.

ADOPTED this 24th day of February 2026.

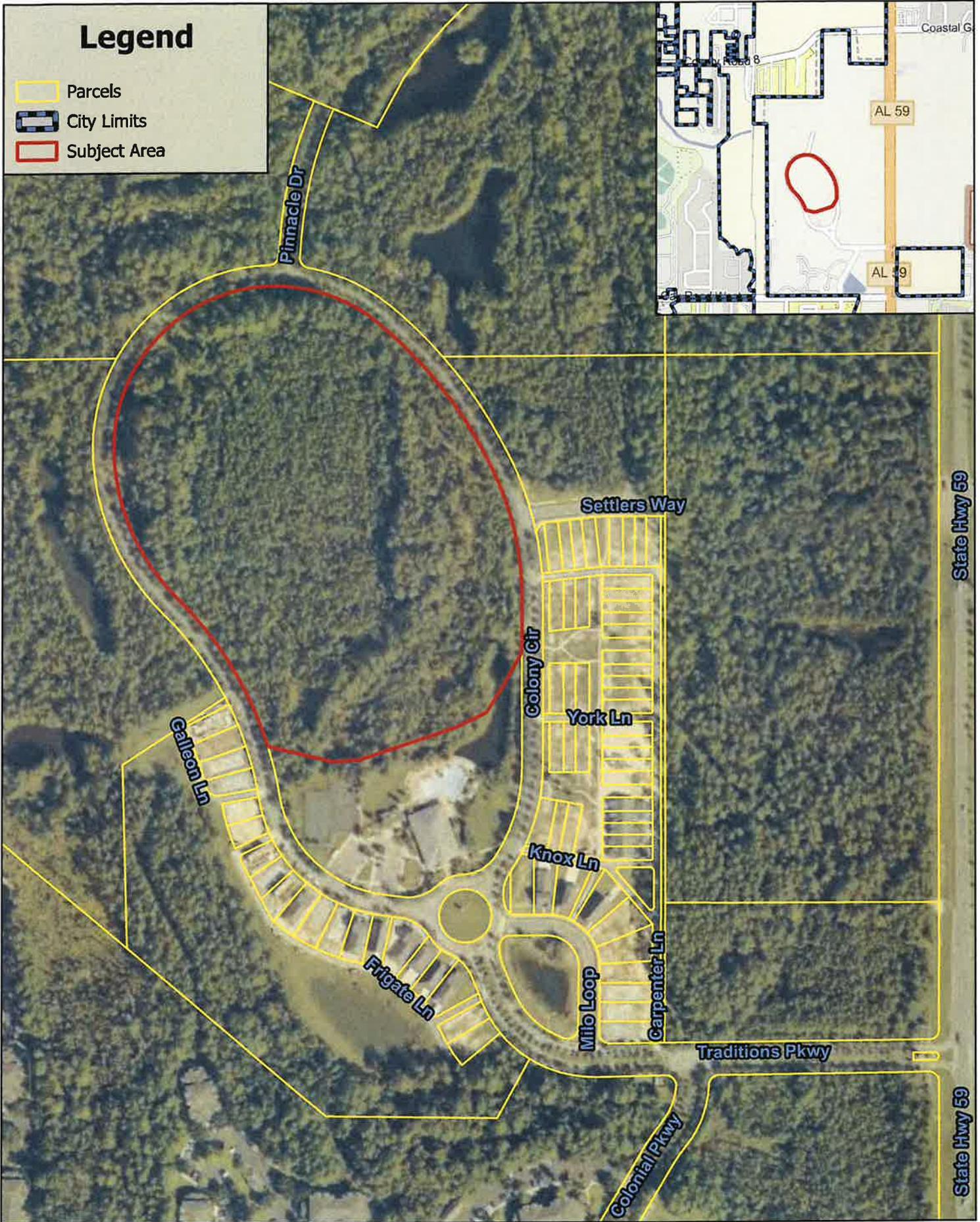
Pete Vakakes
Chairman, Planning Commission

Attest:

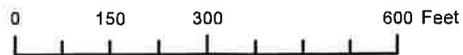
Mell Davis
Secretary, Planning Commission

Legend

-  Parcels
-  City Limits
-  Subject Area

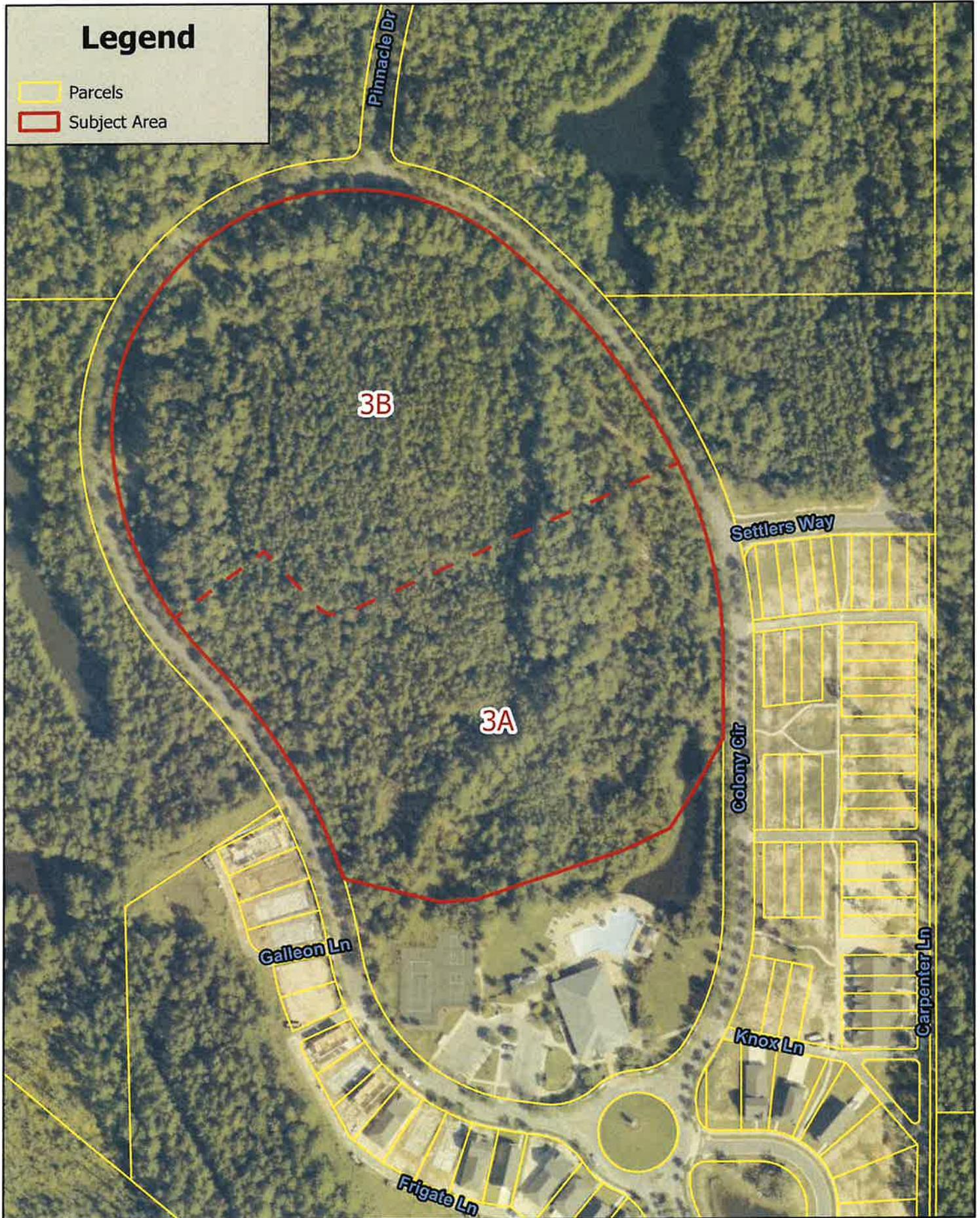


Colonial Traditions Ph 3A Preliminary Plat
Overview Map
ZA25-000062 - January 27, 2026



Legend

- Parcels
- Subject Area



Colonial Traditions Ph 3A Preliminary Plat
Location Map - 2025 Aerials
ZA25-0000062 - January 27, 2026

