

ABBREVIATIONS

AC	AIR CONDITIONING
AFF	ABOVE FINISH FLOOR
AHU	AIR HANDLING UNIT
AL	ALUMINUM
ASPH	ASPHALT
AT	ALUMINUM THRESHOLD
BD	BOARD
BLKT	BLANKET
BT	BRASS THRESHOLD
CJ	CONTROL JOINT
CJG	CEILING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
CL	CENTER LINE
DBL	DOUBLE
DF	DRINKING FOUNTAIN
DJA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWN SPOUT
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV / EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FND	FOUNDATION
FR	FIRE RATED
GALV	GALVANIZED
GYPBD	GYPSONUM BOARD
HC	HANDICAPPED
HDW	HARDWARE
HM	HOLLOW METAL
HVAC	HEATING, AIR CONDITIONING, & VENT INFORMATION
INFO	INFORMATION
INSUL	INSULATION
LAC	LAY-IN ACOUSTICAL CEILING
MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MFR / MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
MR	MIRROR/MOISTURE RESISTANT
MT	MARBLE THRESHOLD
MTL	METAL
NA	NOT APPLICABLE
NC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
PLYWD	PLYWOOD
PREFAB	PREFABRICATED
PSF	POUNDS PER SQUARE FOOT
PT	PAINT / PRESSURE TREATED
QT	QUARRY TILE
R	RISER/RADIUS
REBAR	REINFORCING BAR
REF	REFERENCE
REINF	REINFORCE
RECD	REQUIRED
RO	ROUGH OPENING
SB	SPLASHBLOCK
SHLVS	SHELVES
SIM	SIMILAR
SPEC	SPECIFICATION
SS	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
SUSP	SUSPENDED
TELE	TELEPHONE
TPD	TOILET PAPER DISPENSER
TS	TRANSITION STRIP
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VT	VINYL THRESHOLD
WC	WATER CLOSET
WD	WOOD
WP	WATERPROOF
WWF	WELDED WIRE FABRIC
W	WTH

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A New Project for: Fortis Group

Royal Standard BLDG A

Gulf Shores Pkwy, Gulf Shores AL. 36542



GENERAL CONDITIONS

THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, A.I.A. DOCUMENT A201, LATEST EDITION ARE HEREBY MADE A PART OF THESE CONSTRUCTION DOCUMENTS AS IF BOUND HEREIN. COPY OF A201, LATEST EDITION OF THE GENERAL CONDITIONS MAY BE OBTAINED FROM THE ARCHITECT OR DIRECTLY FROM THE AMERICAN INSTITUTE OF ARCHITECTS, 1735 NEW YORK AVENUE, N.W. WASHINGTON, D.C. 20006.

SIGNS

CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING ALL SIGNS. CONTRACTOR SHALL ENSURE THERE ARE NO CONTRACTOR OR BANK SIGNS ON THE PROPERTY DURING CONSTRUCTION.

FOR CONSTRUCTION

THESE DRAWINGS INDICATE THE LOCATION AND SPECIFICATIONS FOR THE MINIMUM REQUIRED DESIGN. THESE DOCUMENTS SHALL NOT BE REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN THAT INTENDED WITHOUT THE WRITTEN CONSENT OF THE OWNER AND/OR ARCHITECT.

GENERAL NOTES

The contractor shall examine the drawings and shall notify the architect of any discrepancies in elevations, dimensions, and site conditions before proceeding with any work. Omissions and conflicts between various elements of the drawings and specifications shall be resolved with the engineer/architect prior to the start of work.

The drawings and specifications represent the completed structure. They do not indicate the method of construction. The contractor shall provide all measures and means necessary to protect persons and the structure during construction. Such measures shall include, but not be limited to, bracing, shoring, etc. Observation visits by the architect or engineer do not include inspection of these items.

Notes and details on the drawings take precedence over these standard notes. Typical details shall be used whenever applicable. Refer to the specifications for information not covered by these notes or drawings.

All work not detailed or noted shall be constructed in accordance with other similar work shown on the drawings and typical details. Dimensions shall take precedence over general notes and typical details.

No pipes or ducts shall be placed in structural members unless specifically detailed and approved by the engineer.

ASTM and similar references are for latest revisions and issue, unless otherwise noted.

Contractor shall investigate site during clearing and excavation for unsuitable conditions: unconsolidated and undocumented fills, banded structures, utilities, etc. and shall immediately notify the architect/engineer of any site conditions not reflected on the drawings or different from maximum and minimum dimensions indicated, including conflicts in grades, adverse soil conditions, ground water present, deepened footings, uncovered and unexpected utility lines, etc.

Construction materials shall be spread out if placed on structural frame. Load shall not exceed the design of live loads. Provide shoring and bracing where design strength has not been attained or structure is not complete.

The contractor shall determine the location of utility services in the area to be excavated before digging. Exercise extreme caution when excavating and trenching.

VICINITY MAP



INDEX TO DRAWINGS

SEQ.	DWG.	Sheet Title	Issue Date	Revision
1	T-1	Title Sheet	10/31/25	
2	X-1	Site Plan	10/31/25	
3	A-1.1	Dimensioned Floor Plan	10/31/25	
4	A-1.2	Roof Plan	10/31/25	
5	A-2	Architectural Color Elevations	10/31/25	
6	A-3	Building Sections	10/31/25	
7	P-1	Plumbing Plans	10/31/25	
8	M-1	Mechanical Plans	10/31/25	
9	E-1	Electrical Plans	10/31/25	

PROJECT DATA

BUILDING DESCRIBED SHALL COMPLY WITH THE FOLLOWING CODES:

2024 EDITION INTERNATIONAL BUILDING CODE
2024 EDITION INTERNATIONAL PLUMBING CODE
2024 EDITION INTERNATIONAL MECHANICAL CODE
2024 EDITION INTERNATIONAL FUEL GAS CODE
2023 EDITION NATIONAL ELECTRICAL CODE
2024 EDITION INTERNATIONAL FIRE CODE
2021 INTERNATIONAL ENERGY CODE
ANSI ICC A117.1 - CURRENT

CODE ANALYSIS

OCCUPANCY	B - BUSINESS
CONSTRUCTION TYPE	II-B UN-SPRINKLED
ALLOWABLE AREA	9,000 SF - SINGLE STORY TYPE II-B
AREA MODIFICATIONS	NOT REQUIRED
BUILDING FOOTPRINT AREA	5,281 SF
OCCUPANT LOAD	-150 SF/PERSON = 42 PERSONS

SYMBOLS / LEGEND

ELEVATION NUMBER	NOTE NUMBER	ROOM NAME
SHEET NUMBER	WINDOW NUMBER	ROOM NUMBER
DETAIL SECTION OR PLAN NUMBER	DOOR NUMBER	EQUIPMENT NUMBER
WALL SECTION NUMBER, BUILDING SECTION LETTER	REVISION NUMBER	ELEV. DATUM POINT
SHEET NUMBER	INTERIOR FINISH NUMBER	NEW COLUMN GRID NUMBER OR LETTER
DETAIL NUMBER	EXTERIOR FINISH NUMBER	EXISTING COLUMN GRID NUMBER OR LETTER
SHEET NUMBER		

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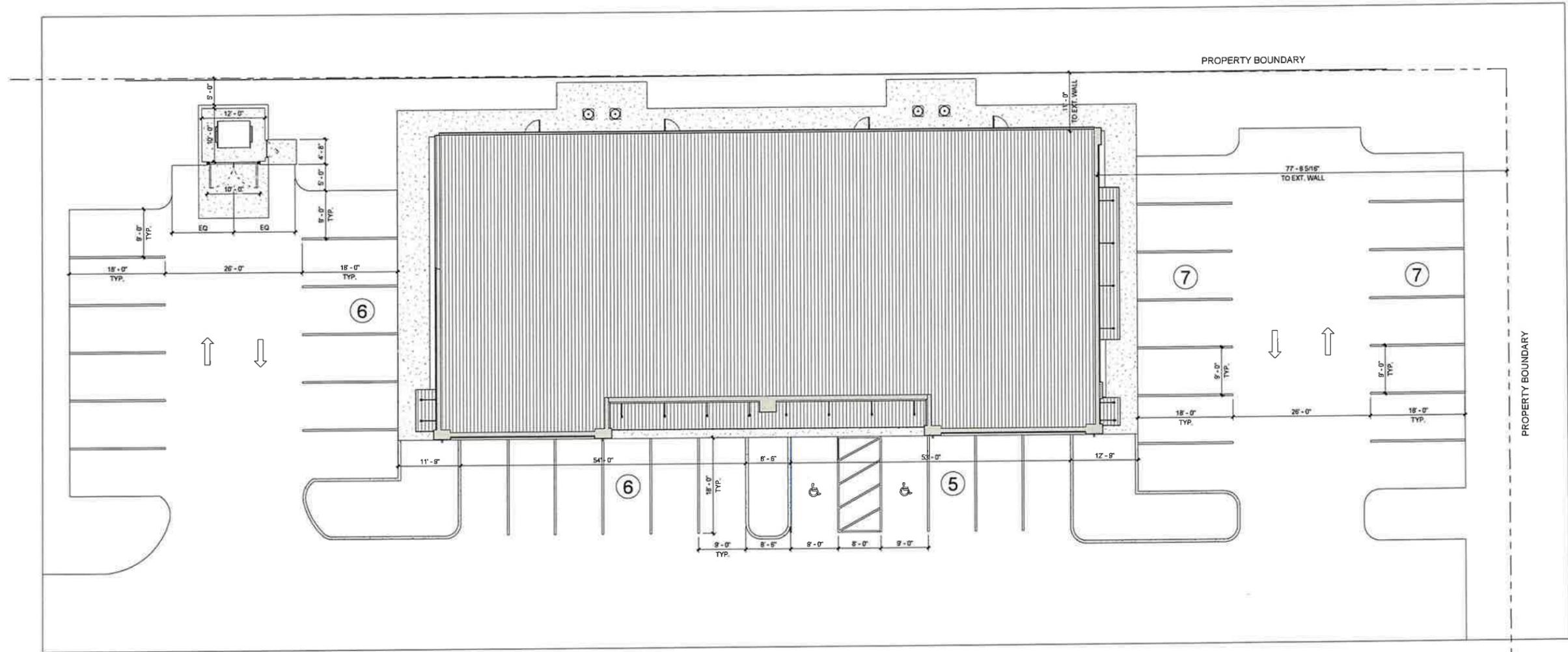
Building Type:
STEEL FRAME ON CONCRETE SLAB

Drawing Title:
Title Sheet

Date: 10/31/25
Dm: Author
Ckd: Checker

Drawing Number:
T-1

Revisions:



① SITE
1" = 10'-0"

SITE DATA:	
BUILDING FOOTPRINT:	6,281 SF
PARKING AREA:	14,222 SF 31 STALLS
MISCELLANEOUS AREA:	5,525 SF
TOTAL SITE AREA:	26,028 SF



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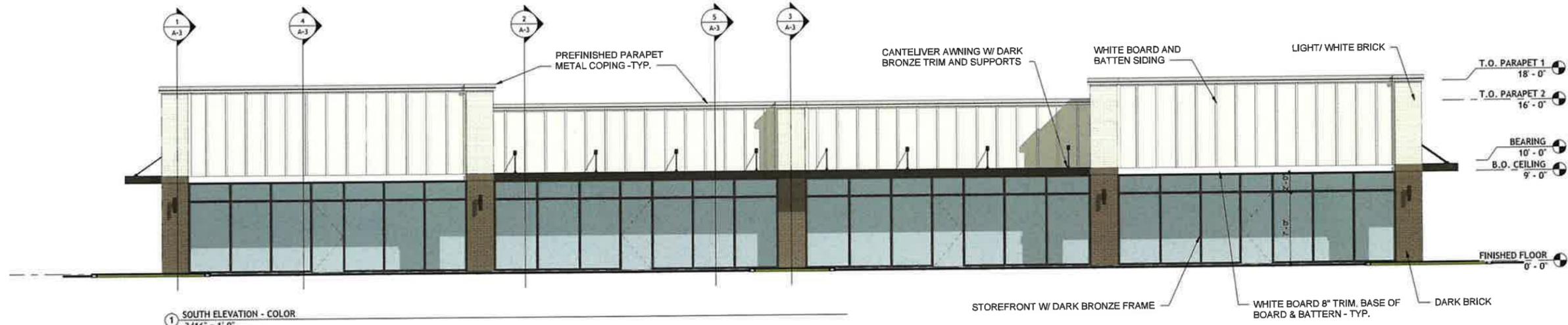
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STEEL FRAME ON CONCRETE SLAB

Drawing Title:
Site Plan

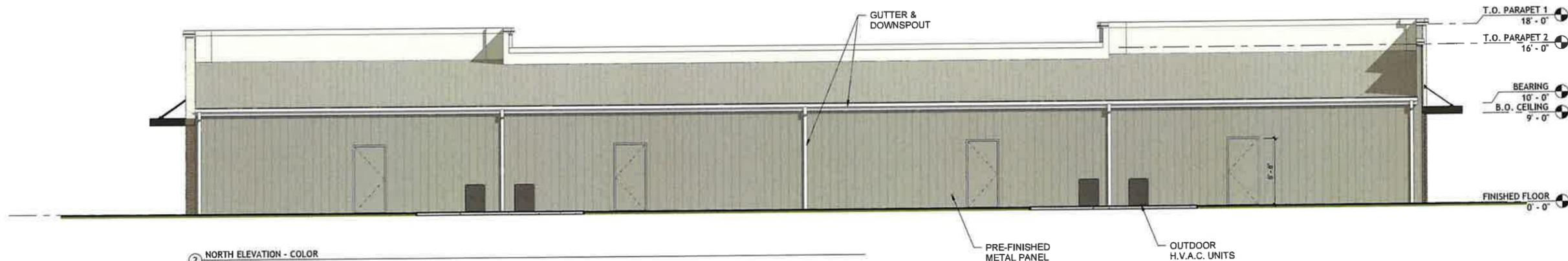
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10/31/25	Ckd	Checker

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X-1

Revisions:



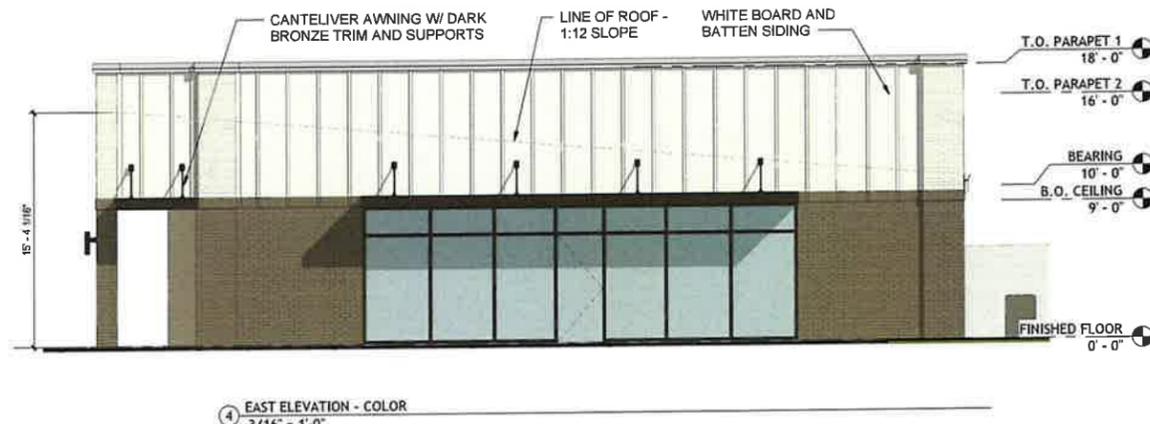
1 SOUTH ELEVATION - COLOR
3/16" = 1'-0"



2 NORTH ELEVATION - COLOR
3/16" = 1'-0"



3 WEST ELEVATION - COLOR
3/16" = 1'-0"



4 EAST ELEVATION - COLOR
3/16" = 1'-0"

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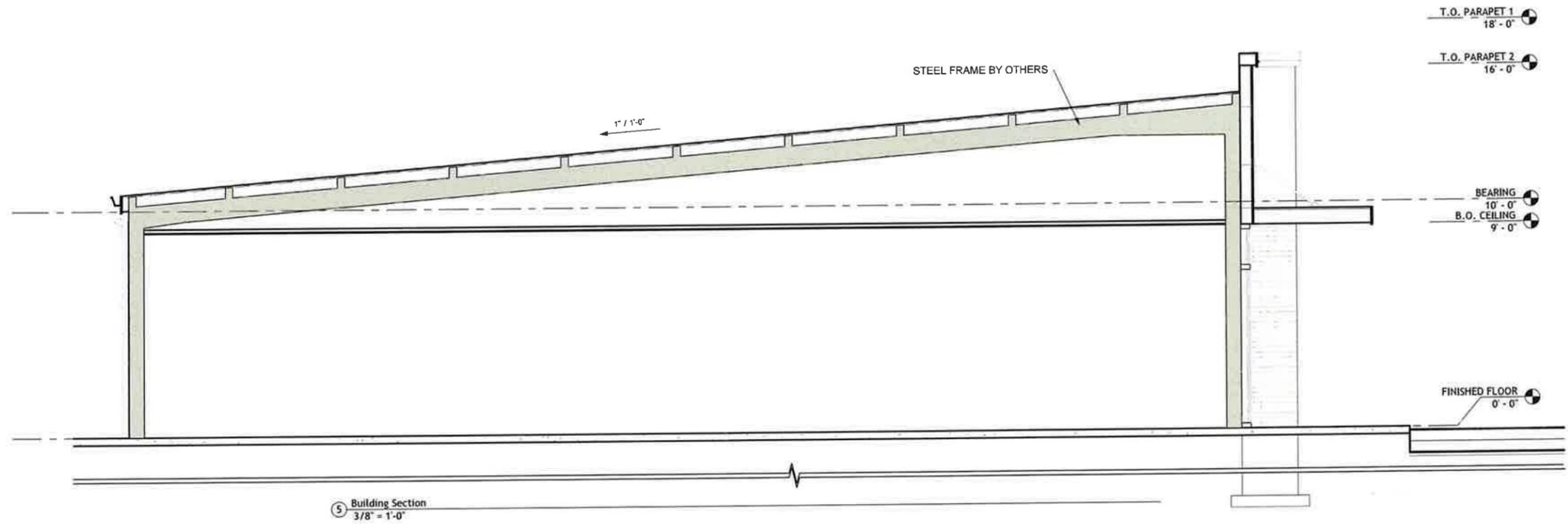
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 STEEL FRAME ON CONCRETE SLAB

Drawing Title:
 Architectural Color Elevations

Date: 10/31/25 Dm: DWS
 Ckd: MDP

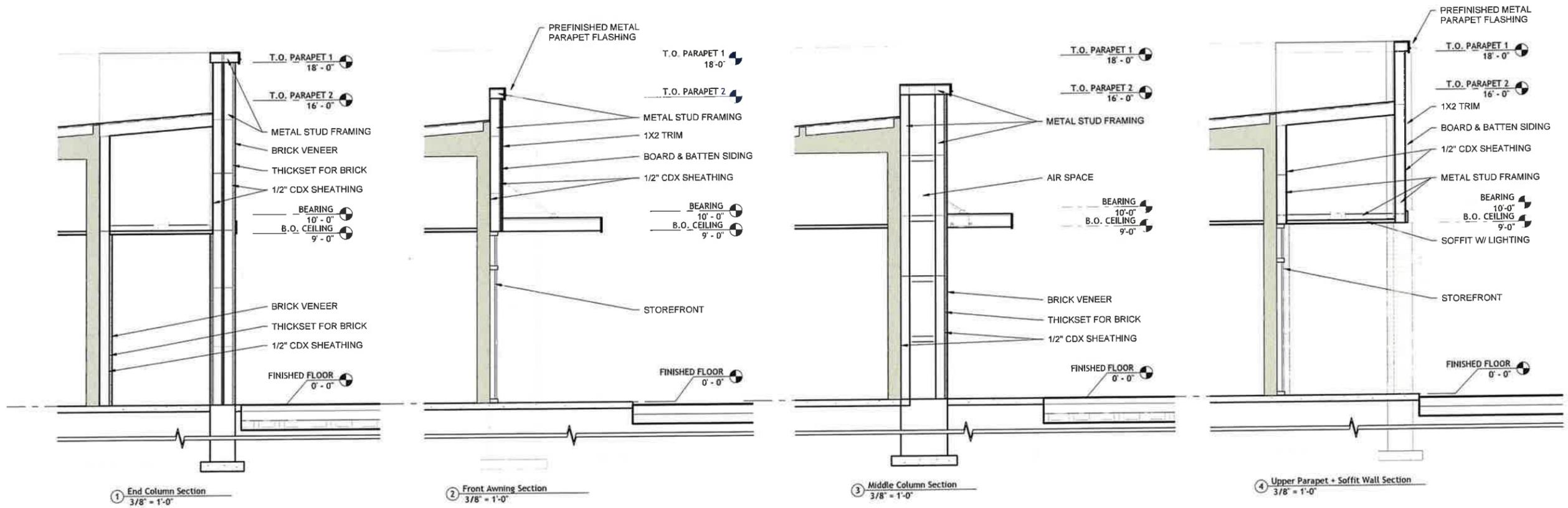
Drawing Number:
A-2

Revisions:



5 Building Section
3/8" = 1'-0"

PRELIMINARY



1 End Column Section
3/8" = 1'-0"

2 Front Awning Section
3/8" = 1'-0"

3 Middle Column Section
3/8" = 1'-0"

4 Upper Parapet + Soffit Wall Section
3/8" = 1'-0"

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Site:
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Building Type:
STEEL FRAME ON CONCRETE SLAB

Drawing Title:
Building Sections

Date: 10/31/25 Dm: Author
Ckd: Checker

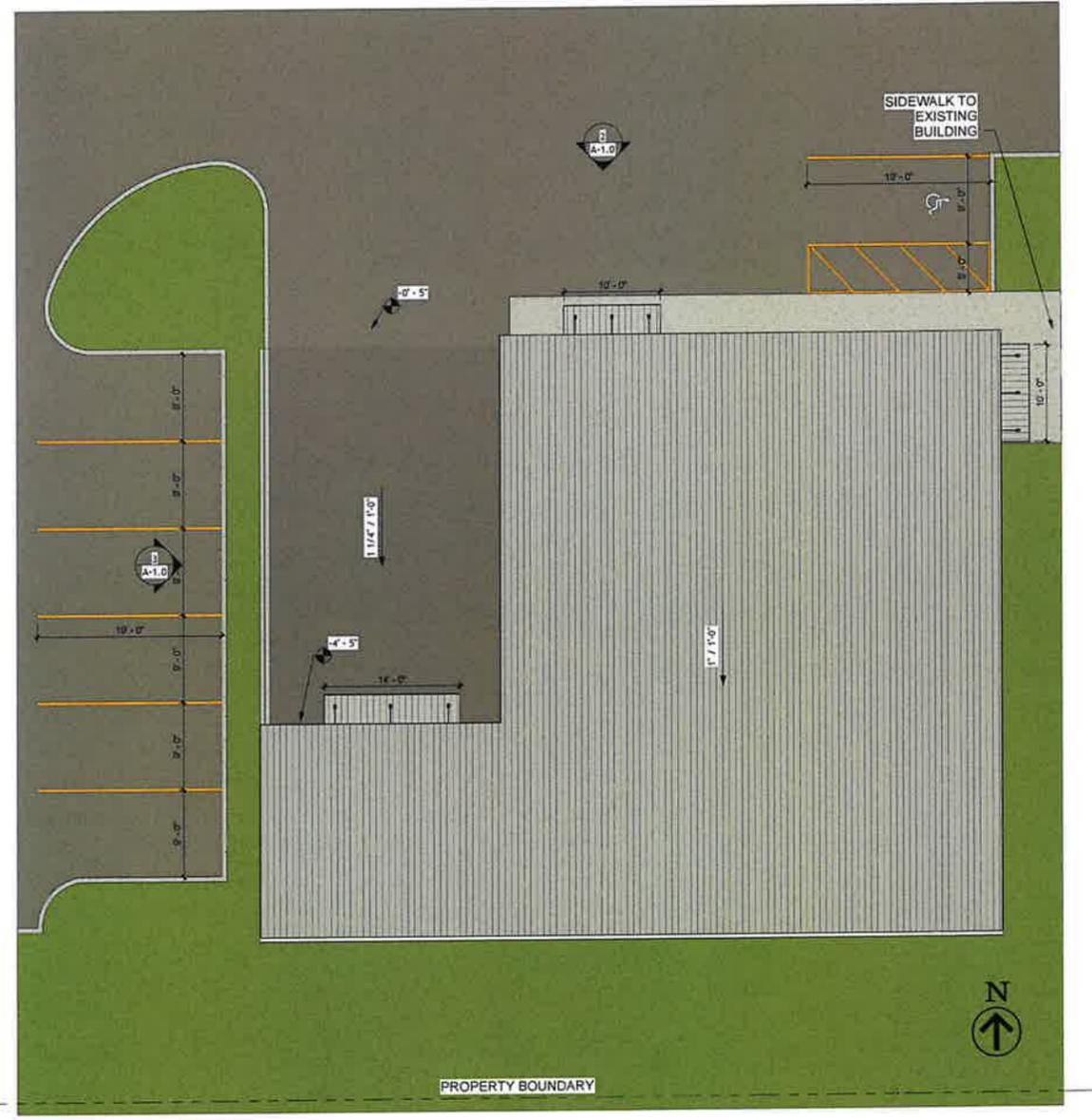
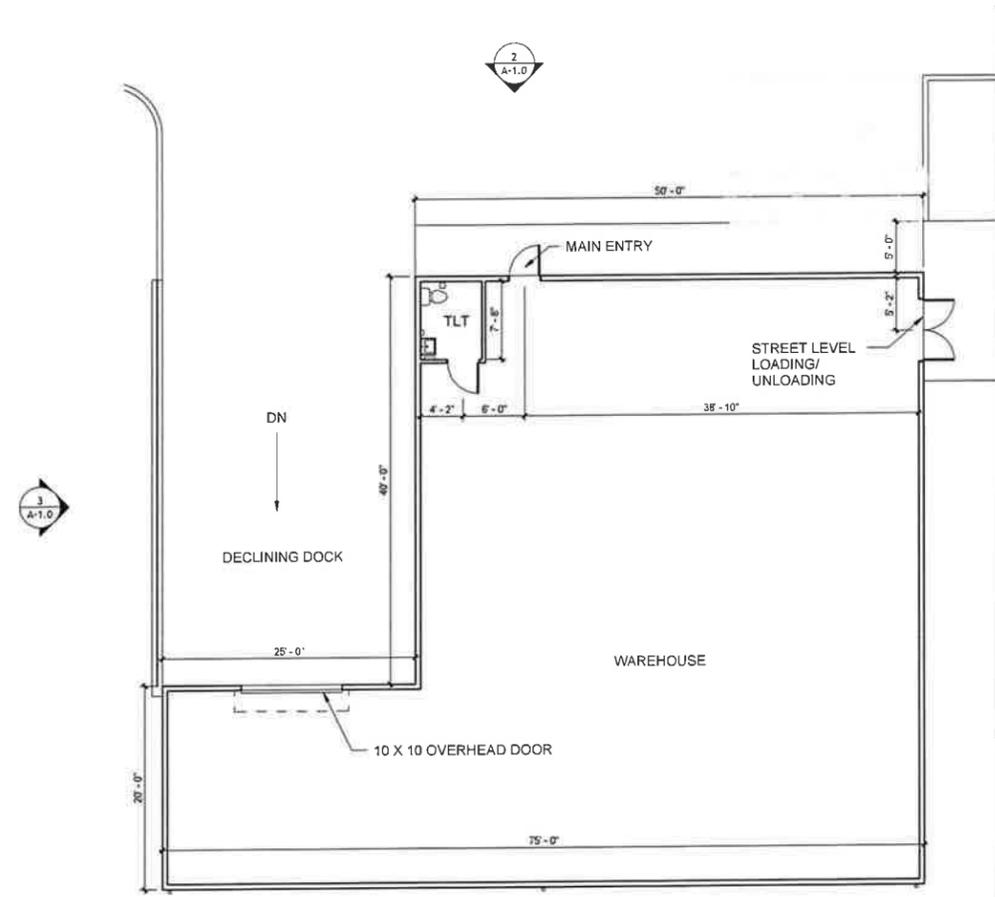
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A-3

Revisions

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NOTE: NORTH, EAST, AND WEST ELEVATIONS TO HAVE BOARD & BATTEN SIDING
SOUTH ELEVATION TO HAVE METAL SIDING.



4 Floor Plan
1/8" = 1'-0"

3,500 SF BUILDING FOOTPRINT

1 Site Plan
1/8" = 1'-0"

Royal Standard - Warehouse
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Site:
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Building Type:
WOOD FRAME ON CONCRETE SLAB

Drawing Title:
Preliminary Warehouse Plans & Elevations

Date: 02/11/2025
Dm: DWS
Ckd: MDP

Drawing Number:
A-1.0

Revisions: