



February 24, 2026 Planning Commission Meeting

1. Call To Order

2. Roll Call

3. Approval Of Minutes:

January 27th Regular Planning Commission Meeting Minutes

Documents:

[January PC Minutes.pdf](#)

4. Site Plans

ZA26-000002: Royal Standard Development Site Plan

Documents:

[Staff Report.pdf](#)
[Plans 1.Pdf](#)
[Plans 2.Pdf](#)

5. Public Hearing- 1

ZA26-000020: Osprey Landing Subdivision Phase 4 Preliminary Plat Extension

Documents:

[Staff Report.pdf](#)
[Plans.pdf](#)

6. Public Hearing- 2

ZA26-000007: Colonial Traditions Lot 7 Final Subdivision Plat

Documents:

[Staff Report.pdf](#)
[Plans.pdf](#)

7. Public Hearing- 3

ZA25-000062: Colonial Traditions Phase 3A Preliminary Plat

Documents:

[Staff Report.pdf](#)
[Plans 1.Pdf](#)
[Plans 2.Pdf](#)

8. Hearing Of Persons Not Listed On The Formal Agenda:

9. Other Business

10. Communications From Staff/Planning Communication

11. Adjourn

**MINUTES OF THE PLANNING COMMISSION
CITY OF GULF SHORES, ALABAMA
REGULAR MEETING OF JANUARY 27, 2026**

COMMISSION PRESENT:

Chairman Pete Vakakes, Commissioner Frank Malone, Commissioner Phillip Harris, Commissioner Fallon Young, Commissioner Richard Lamar, Commissioner Grant Brown, Commissioner Jason Holt, Commissioner Dr. Mary Edwards Long, Commissioner Ray Moore

COMMISSION ABSENT: None

STAFF PRESENT:

Planning Director Scott Stephens; Zoning Administrator Andy Bauer; Fire Marshal George Surry; City Planner Jennifer Watkins; Commission Secretary Mell Davis.

CALL TO ORDER:

Chairman Vakakes called the meeting to order at 4:00 p.m.

ROLL CALL:

Secretary, Mell Davis, called the roll.

APPROVAL OF MINUTES: Regular Meeting of December 16, 2025

Commissioner Young made a motion to approve the minutes from December 16, 2025. Commissioner Harris seconded; the motion was approved 9-0.

ITEMS FOR DEFERRAL:

A. ZA25-000062: Colonial Traditions Phase 3A Preliminary Plat

Commissioner Young made the motion to defer ZA25-000062, Colonial Traditions Phase 3A Preliminary Plat to the February 2026 Planning Commission meeting. Commissioner Malone seconded, the motion was approved 9-0.

PUBLIC HEARINGS:

A. ZA26-000001: Riviera Plaza Property Prezone & Annexation

Request: The applicant requests to pre-zone and annex 36 acres of property R-1-3 Residential Single-family and 3.6 acres of property BG General Business. This property is located north side of County Road 8 West between State Highway 59 and Grund Lane.

Commissioner Malone recused himself and left the dais.

Chairman Vakakes opened the Public Hearing.

Nicole Good, resident, asked if a tree buffer is required for subdivisions.

Chairman Vakakes closed the Public Hearing.

Commissioner Young made the motion to approve, ZA26-000001: Riviera Plaza Property Prezone & Annexation. Commissioner Long seconded the motion; it was approved 8-0 with Commissioner Malone recusing.

**MINUTES OF THE PLANNING COMMISSION
CITY OF GULF SHORES, ALABAMA
REGULAR MEETING OF JANUARY 27, 2026**

B. ZTA25-10: Walking District Overlay Zoning Text Amendment

Request: City staff proposes to amend the boundaries of the Walking Area Overlay District on the “Official Zoning Map” and modify the definition of the Walking Area Overlay District in the Zoning Ordinance.

Chairman Vakakes opened the Public Hearing.

Kevin Corcoran told Commissioners he is in support of the amendment.

Chairman Vakakes closed the Public Hearing.

Commissioner Moore made the motion to approve, ZTA25-10: Walking District Overlay Zoning Text Amendment including a savings clause for existing single-family, and duplex dwellings to allow them to be rebuilt if destroyed. Commissioner Long seconded the motion; it was approved 8-0 with Commissioner Malone recusing.

Commissioner Malone took his seat again on the dais.

OTHER BUSINESS:

- A. Sportsplex Additions - Planning Director Scott Stephens and representatives from the Gulf Shores City School System briefed the Commissioners on proposed new additions to the baseball, softball, and soccer facilities at the Gulf Shores Sportsplex.

COMMUNICATIONS FROM STAFF:

- A. Planning Director Scott Stephens, discussed the process for the re-write of Subdivision Regulations and the development of a Comprehensive Plan that will occur in 2026.

HEARING OF PERSONS NOT LISTED ON FORMAL AGENDA:

- A. SE Civil briefed the Commissioners on a proposed residential development at the Ellenburg property development along the east side of the new Foley Beach Express connector road.

ADJOURN: Chairman Vakakes adjourned the meeting at 5:15 p.m.

Chairman, Pete Vakakes

Secretary, Mell Davis

Date

Royal Standard Development – Site Plan

Staff Report: Andy Bauer
Application #:ZA26-000002

Planning Commission Meeting Date: February 24, 2026
Applicant: Sawgrass Consulting Property Location: 3769 Gulf
LLC Shores Pkwy

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

Summary of Request

The applicant requests Site Plan approval to construct three, 6,000 square feet commercial buildings and one 3,500sf warehouse building at 3769 Gulf Shores Parkway. The property is zoned BA Arterial Business District.

Surrounding Context

The subject property is currently developed with the Royal Standard retail building and parking. The storage buildings behind the Royal Standard were recently demolished. The following are the surrounding zoning districts and land uses:

- North –Arterial Business Zoning District (BA): Vacant Wooded Land
- South – Arterial Business Zoning District (BA): Del Mar Plaza Commercial Center, Storage Buildings
- East – Gulf Shores Parkway
- West – Arterial Business Zoning District (BA): Tree of Life Landscaping & Fortis Office Building

Existing Zoning

BA Arterial Business District. This district is intended to provide locations for a variety of commercial and light industrial activities along the main entrance highway to the city and at other locations where similar development may occur.

Proposed Site Plan

Specifics of the Site Plan are as follows:

- Building Height (8 stories): 1 story (18ft)
- Maximum Building Coverage (30%): 23%
- Maximum Impervious Surface Coverage (80%): 69%
- Maximum Floor Area Ratio (125%): 23%
- Minimum Front Setback (45ft): 80ft (existing)
- Minimum Rear Setback (20ft): 70ft
- Minimum Side Setback (0ft/10ft): S-20ft, N-13ft
- Minimum Landscape (20%): 31%
- Minimum Off-street Parking (min 82 spaces): 87 spaces

ANALYSIS

Zoning Compliance

The proposed commercial development is zoned BA Arterial Business District. This district is intended to provide locations for a variety of commercial and light industrial activities along the main entrance highway to the city and at other locations where similar development may occur. The proposed Site Plan complies with all the BA Zoning District Area & Dimensional Requirements, and the proposed uses are allowed by right.

Plan Review

Access

Vehicular: The Site Plan proposes to utilize the existing ingress/egress drive connecting to Gulf Shores Parkway. The vehicular circulation within the site is designed in accordance with the minimum dimensional standards of the Zoning Ordinance. The owner of the Royal Standard property also owns the property to the west, and the site plan includes a stub street which will

connect to this property in the future. Recorded cross-access easements shall be provided for the properties to the north and south of the Royal Standard. The purpose of the easements is to provide an opportunity for interconnectivity between abutting commercial properties.

Pedestrian: There are not currently any sidewalks within the right-of-way of Gulf Shores Parkway at this location. The Master Bicycle and Pedestrian Plan recommends an 8 feet wide sidewalk along this portion of Gulf Shores Parkway. An engineer's estimate for a fee-in-lieu of constructing an 8 feet sidewalk has been provided in an amount of \$19,510. The applicant shall pay a fee-in-lieu of construction of the sidewalk prior to the issuance of a Building Permit.

Sidewalks are proposed along the fronts of each of the new commercial buildings which provide for pedestrian connectivity throughout the property.

Parking

The applicant calculated the required parking utilizing Table 14-2B Share Parking Table in Article 14 of the Zoning Ordinance, because the future uses of each building are unknown. The Share Parking Table indicates 82 parking spaces are required based on a mix of commercial, office, retail, warehouse and personal service uses. The site plan provides 87 parking spaces. A portion of the existing Royal Standard parking lot and driveway connection to Gulf Shores Parkway will be milled and repaved as a part of this application. The drive aisles and parking areas are to be constructed of asphalt paving and comply with the minimum dimensional standards of the Zoning Ordinance.

Building Architecture

The architectural plans indicated each commercial building will have a flat roof concealed by a parapet. The fronts of each building consist primarily of clear glass storefront windows, a cantilevered awning, and include primary entry doors for each unit. The remainder of the building front consists of brick columns with a building cap composed of white board and batten. The side of each building is a combination of dark brick and horizontal lap siding, with a white board and batten building cap. The rear of each building is composed of prefinished metal paneling. The proposed buildings comply with the Architectural Regulations of the Zoning Ordinance.

Landscaping

The applicant has provided a Landscape Plan that meets the requirements of Article 12 of the Zoning Ordinance. Thirty-one percent of the site is classified as landscaping, which complies with the minimum requirements of the Zoning Ordinance. The street frontage landscape standards have been provided along Gulf Shores Parkway, and the perimeter landscape standards have been met along the north and south property lines. The proposed quantity, species, and size of landscape materials comply with the minimum standards of the Zoning Ordinance.

Tree Protection

A Tree Protection Plan indicating the existing trees, caliper sizes, and species. A total of 15 trees are proposed to be removed from the property, only one of which is classified as a Protected Tree (16" DBH Oak Tree). The remainder of the trees are not protected and predominantly invasive Popcorn Trees. All the existing trees are in an area of the site which is to be improved therefore no tree remediation is required.

Grading & Drainage

A Grading and Drainage Plan was submitted with the Site Plan application. The existing runoff from the site flows to the western property boundary eventually into a culvert beneath Northshore Street. The Drainage Plan proposes to route the stormwater through pipes placed throughout the site which will be captured in a single stormwater pond located at the southwest corner of the property. The detention pond is modeled to the 10-year storm event as required by the City of Gulf Shores. The Grading and Drainage Plans have been reviewed and approved by the Engineering Department.



SMALL TOWN, BIG BEACH™

Exterior Lighting

The Site Plan proposes eight pole mounted parking lot lights. The light fixtures are full cut-off and comply with the lighting standards of the Zoning Ordinance.

Trash Collection

There is one existing dumpster located on the site and an additional dumpster will be provided. Both dumpsters are to be screened in accordance with the Zoning Ordinance. The applicant has submitted a letter from Republic Service stating the site can be properly serviced.

Department and Agency Reviews

The Fire Marshal and Engineering Department have reviewed and approved the plans.

RECOMMENDATION

Staff recommend approval of the Site Plan with the following conditions:

1. The applicant shall pay a \$19,510 fee-in-lieu of construction of an 8 feet sidewalk within the right-of-way of Gulf Shores Parkway prior to the issuance of a Building Permit.
2. Prior to the issuance of a Building Permit, the Royal Standard shall provide a recorded acknowledgment to the City agreeing to provide a cross-access easement at such time as the adjacent properties are required to provide cross access easements.

MOTION FOR CONSIDERATION

I recommend approval of the Site Plan with staff recommendations.

ATTACHMENTS: Draft Resolution, Location Maps, Site Plan Set

RESOLUTION ZA26-000002
ROYAL STANDARD DEVELOPMENT
SITE PLAN

Be it resolved by the Gulf Shores Planning Commission while in regular session on February 24, 2026; and by a vote of 0-0, hereby approves subject to the special conditions set out below and based on the following Findings of Fact and Conclusions related to the Royal Standard Development Site Plan located at 3769 Gulf Shores Parkway:

1. The Plan is consistent in all respects with the Comprehensive Plan and the purpose and intent of the applicable district.
2. The Plan is in conformance with all applicable regulations of the applicable district.
3. The Plan is in conformance in all respects with the City's Subdivision Regulations and all other applicable City requirements including design, adequacy and construction of streets, drainage, utilities and other Essential Services or facilities.
4. The Plan is consistent with good design standards in respect to all internal and external relationships, including but not limited to
 - a. Relationship to Adjacent properties;
 - b. Internal circulation, both vehicular and pedestrian;
 - c. Design of access and egress and impact on Adjacent Thoroughfares;
 - d. Disposition and use of Open Space, provision of Screening and/or Buffering, and preservation of existing natural features including trees, Wetlands, and Dunes;
 - e. Size and apparent Bulk of Structures;
 - f. Building arrangements both between Buildings in the proposed development and those on abutting sites.
5. The Plan is in conformance in all respects with City policy in respect to sufficiency of ownership, guarantees for completion of all required improvements, and, if private, the guarantee for continued maintenance.

Approval is subject to the following Special Conditions:

1. The applicant shall pay a \$19,510 fee-in-lieu of construction of an 8 feet sidewalk within the right-of-way of Gulf Shores Parkway prior to the issuance of a Building Permit.
2. Prior to the issuance of a Building Permit, the Royal Standard shall provide a recorded acknowledgment to the City agreeing to provide a cross-access easement at such time as the adjacent properties are required to provide cross access easements.

Be advised that before any construction activities can commence on the property, City permits must be issued prior to any construction commencing on the site. A building permit must be obtained within two years of the date of this Resolution, or the Site Plan will become null and void.

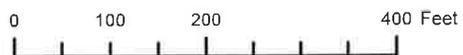
This resolution shall become effective upon its adoption.

ADOPTED this 24th day of February 2026.

Pete Vakakes, Chairman, Planning Commission

Attest:

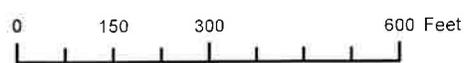
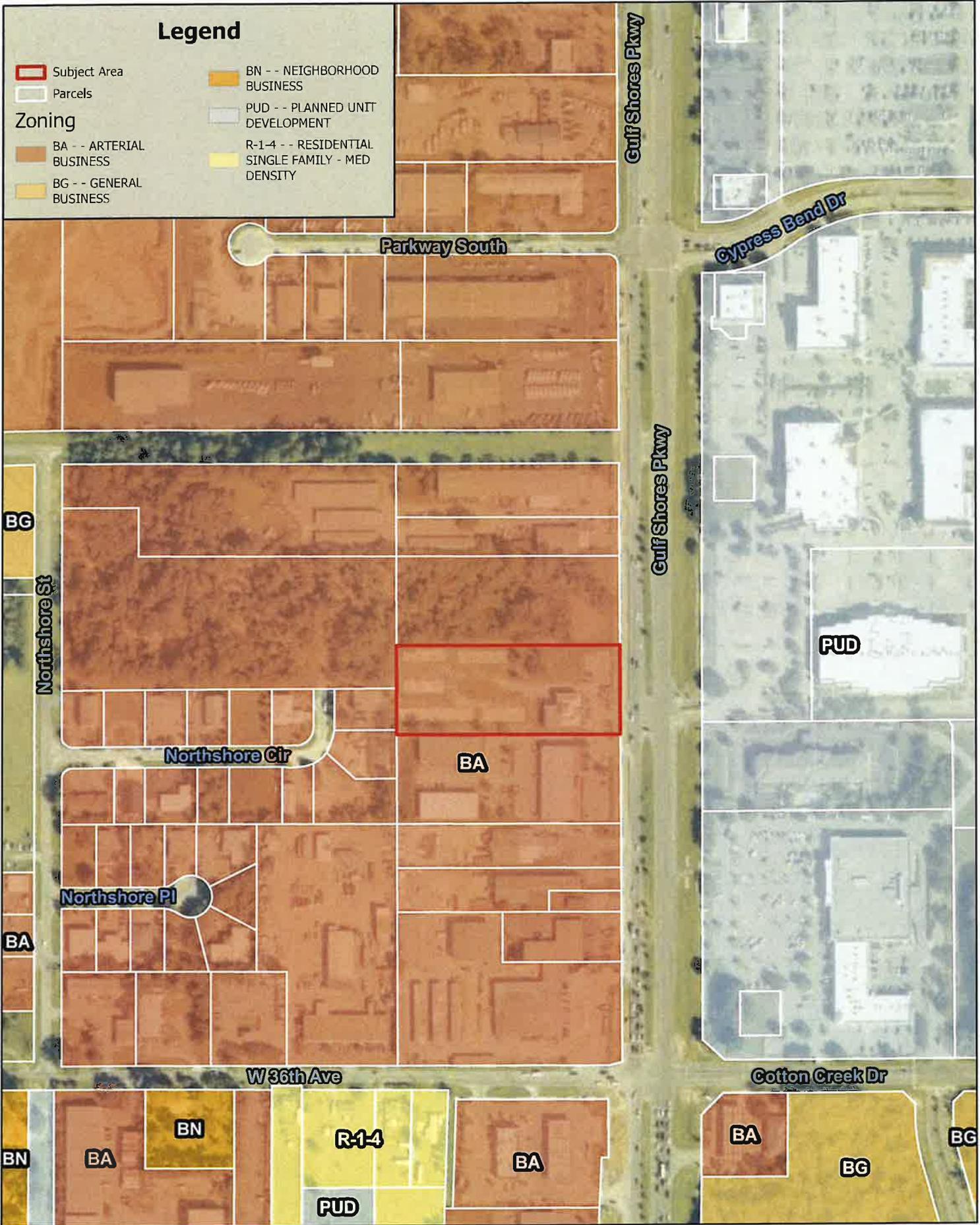
Mell Davis, Secretary, Planning Commission



Legend

-  Subject Area
-  Parcels



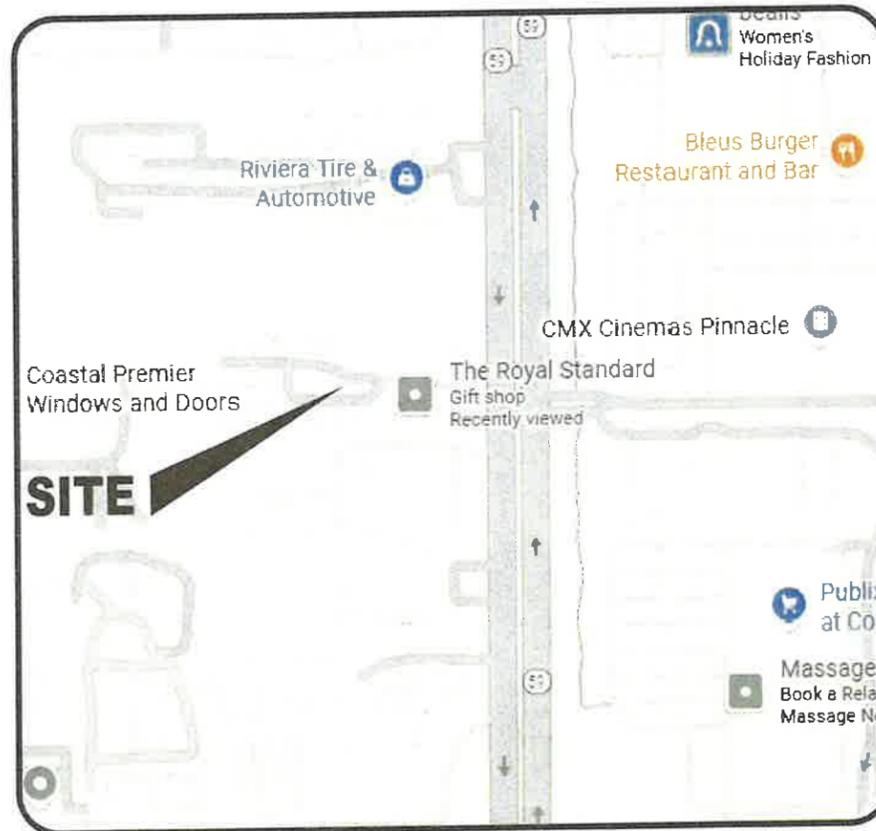


ROYAL STANDARD

THE FORTIS COMPANY

CIVIL CONSTRUCTION DRAWINGS

FEBRUARY 2026



VICINITY MAP
N.T.S.

| SHEET INDEX | |
|--------------|----------------------------|
| SHEET NUMBER | SHEET TITLE |
| 1 | TITLE SHEET |
| 2 | EXISTING CONDITIONS & DEMO |
| 3 | SITE PLAN |
| 4 | GRADING & DRAINAGE PLAN |
| 5 | UTILITY PLAN |
| 6 | EROSION CONTROL PLAN |
| 7 | FIRE SAFETY PLAN |
| 8 | CONSTRUCTION DETAILS 1 |
| 9 | CONSTRUCTION DETAILS 2 |
| 10 | WATER DETAILS 1 |
| 11 | SEWER DETAILS 1 |
| 12 | EROSION CONTROL DETAILS |

| UTILITY PROVIDERS | |
|-------------------|-----------------------|
| SANITARY SEWER | GULF SHORES UTILITIES |
| WATER | GULF SHORES UTILITIES |
| POWER | BALDWIN EMC |
| GAS | RIVIERA UTILITIES |



PREPARED BY:

Ethan C. Ivey

ETHAN IVEY, P.E.

2-13-2026

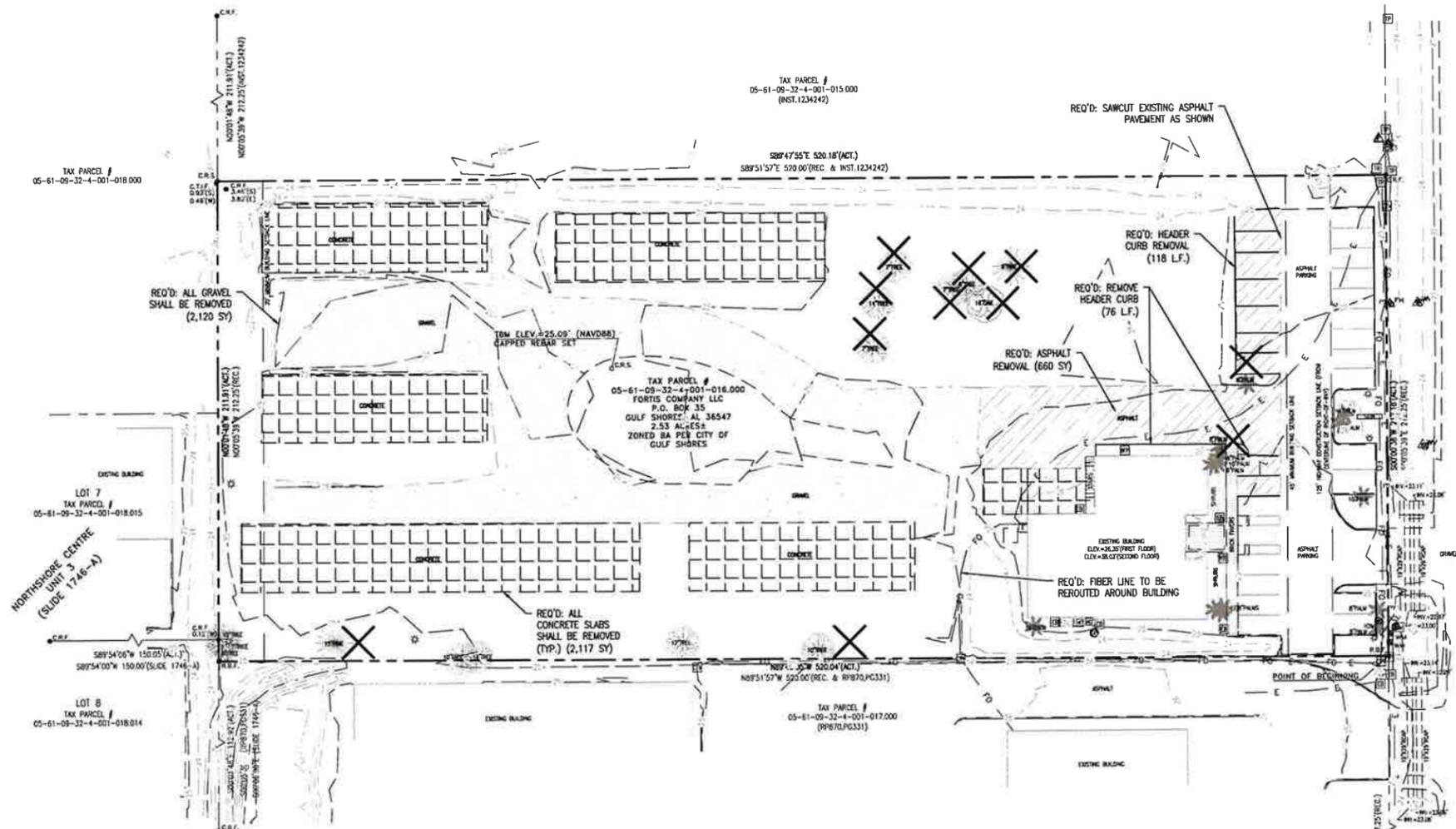
DATE

ALABAMA LICENSE NO. 56091

| NUMBER: | REVISION: | DATE: |
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30673 Sq. Ft. | "Boots" Thomas Drive, Spanish Fort, AL 36527 | Phone (251) 544-7900



| LEGEND | |
|--------|---------------------------|
| | EXISTING ASPHALT PAVEMENT |
| | CONCRETE REMOVAL |
| | ASPHALT REMOVAL |
| | GRAVEL REMOVAL |
| | TREE REMOVAL |

TREE REMOVAL

| QUANTITY | DESCRIPTION |
|----------|-------------|
| 1 | 16" OAK |
| 1 | 6" PALM |
| 1 | 8" PALM |
| 1 | 9" PINE |
| 1 | 15" PINE |
| 3 | 7" TREE |
| 1 | 8" TREE |
| 1 | 14" TREE |
| 1 | 10" TREE |

LEGEND

| | |
|--|------------------------------------|
| | CAPPED REBAR FOUND |
| | CRIMPED TOP IRON FOUND |
| | REBAR FOUND |
| | 1/2" CAPPED REBAR SET "CA 1007-L5" |
| | ELECTRIC METER |
| | ELECTRIC BOX |
| | TRANSFORMER |
| | LIGHT POLE |
| | GROUND LIGHT |
| | AIR CONDITIONER |
| | GRINDER PUMP |
| | TELEPHONE PEDESTAL |
| | FIBER OPTIC HANGHOLE |
| | FIBER OPTIC MARKER |
| | CATV PEDESTAL |
| | FIRE HYDRANT |
| | WATER METER |
| | WATER VALVE |
| | IRRIGATION CONTROL VALVE |
| | WATER MARKER |
| | BACKFLOW PREVENTER |
| | SETBACK LINE |
| | PROPERTY LINE |

EXISTING CONDITIONS & DEMOLITION NOTES

- ALL PERMITS REQUIRED BY GOVERNING AUTHORITIES SHALL BE OBTAINED PRIOR TO BEGINNING ANY DEMOLITION, EXCAVATION, AND REMOVAL OF TREES.
- ANY AND ALL MATERIAL THAT TO BE DISPOSED, SHALL BE DISPOSED OF OFF SITE AT A PERMITTED FACILITY.
- UTILITY COMPANIES SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN EXACT LOCATIONS OF ALL UTILITIES AND RELOCATE ALL UTILITIES THAT INTERFERE WITH THESE PLANS.
- SEDIMENT BARRIERS SHALL BE INSTALLED AROUND THE PERIMETER PRIOR TO ANY DEMOLITION. REFER TO THE EROSION CONTROL PLAN FOR DETAILS.
- SAWCUTS SHALL BE MADE IN AREAS WHERE PAVING IS TO REMAIN. ANY SAWCUTS IN THE CURB SHALL BE CUT TO THE NEAREST EXISTING JOINT.
- EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE UTILITIES PRIOR TO BEGINNING ANY EXCAVATION/DEMOLITION.
- ALL ASPHALT, CONCRETE, STRUCTURES, CURB, STORM INLETS & PIPES, & GRAVEL, & ALL UNDERGROUND UTILITIES SHALL BE REMOVED "IN TOTALITY" WITHIN THE PROPERTY BOUNDARY. PLEASE REFER TO THE SITE PLAN FOR ADDITIONAL CONCRETE, ASPHALT, OR CURB REMOVAL.
- EXISTING WATER AND SEWER CONNECTIONS SHALL BE LOCATED, MARKED/PROTECTED, OR REMOVED AS NECESSARY FOR CONNECTION TO THE PROPOSED BUILDING.
- THE CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING THE SITE FOR ANY FURTHER OBSTRUCTIONS, UTILITIES (ABOVE OR UNDERGROUND), FOUNDATIONS, ETC. THAT INTERFERE WITH THE PROPOSED PLANS AND SHALL COORDINATE WITH THE ENGINEER OF RECORD UPON DISCOVERY OF SUCH OBSTRUCTIONS.

| NUMBER: | REVISION: | DATE: |
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EXISTING CONDITIONS & DEMO
 ROYAL STANDARD
 THE FORTIS COMPANY



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| SCALE: 1:30 |
| DATE: FEBRUARY 2026 |
| DRAWN BY: EI |
| CHECKED BY: EG |
| SHEET: 2 OF 12 |

SITE NOTES

1. ALL CONCRETE SHALL BE CLASS A, 4,000 PSI AT 28 DAYS COMPRESSIVE STRENGTH WITH A MAXIMUM SLUMP OF 4" UNLESS NOTED OTHERWISE. ALL EXPOSED CONCRETE TO HAVE A FINE BROOM FINISH.
2. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER OR TENANT.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB OR AS NOTED. ALL RADII ARE 5' UNLESS OTHERWISE NOTED ON THESE PLANS.
4. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. THE PROJECT WILL REQUIRE ROAD CLOSURE/ TRAFFIC CONTROL SCHEME.
5. SPECIAL CARE SHALL BE GIVEN WHILE WORKING NEAR PRIVATE RESIDENCES. ANY DAMAGES TO OR ADJACENT TO PRIVATE PROPERTY SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

CONCRETE NOTES:

1. CONCRETE SHALL BE A MIX DESIGNED BY A RECOGNIZED TESTING LAB TO ACHIEVE A STRENGTH OF 4,000 PSI IN 28 DAYS WITH A PLASTIC AND WORKABLE MIX. ALL CONCRETE USED TO FILL MASONRY UNITS SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 3/8" UNLESS OTHERWISE NOTED.
2. REINFORCING STEEL SHALL BE NEW BILLET STEEL MEETING A.S.T.M. A-615 GRADE 60 LATEST AND DEFORMED IN ACCORDANCE WITH A.S.T.M. A-305 LATEST. STEEL SHALL BE CLEANED, FREE FROM OIL, SCALE AND RUST. STEEL SHALL BE BENT, LAPPED, PLACED IN ACCORDANCE WITH A.C.I. STANDARDS AND SPECIFICATIONS.
3. ANCHOR BOLTS AND REINFORCING DOWELS SHALL BE SET IN FORMS AND HELD SECURELY IN PLACE BY TEMPLATES PRIOR TO THE PLACING OF THE CONCRETE. ANCHOR BOLTS SHALL BE AS SCHEDULED. REINFORCING DOWELS SHALL BE SAME SIZE AND SPACING AS VERTICAL REINFORCING.
4. ALL EXTERIOR WALKS SHALL BE 4" CONCRETE SLABS WITH 6X6-10/10 MESH ON COMPACTED FILL. SEE CIVIL PLANS FOR EXTERIOR WALK LIMITS AND LOCATIONS.
5. ALL CONCRETE SLABS, APRONS, AND RIGID PAVEMENT SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE - A.C.I. 318-08 FOR REINFORCED CONCRETE CONSTRUCTION.

SITE DATA

TYPE OF BUSINESS: RETAIL/COMMERCIAL

ZONING: BA

ON-SITE CONTACT:

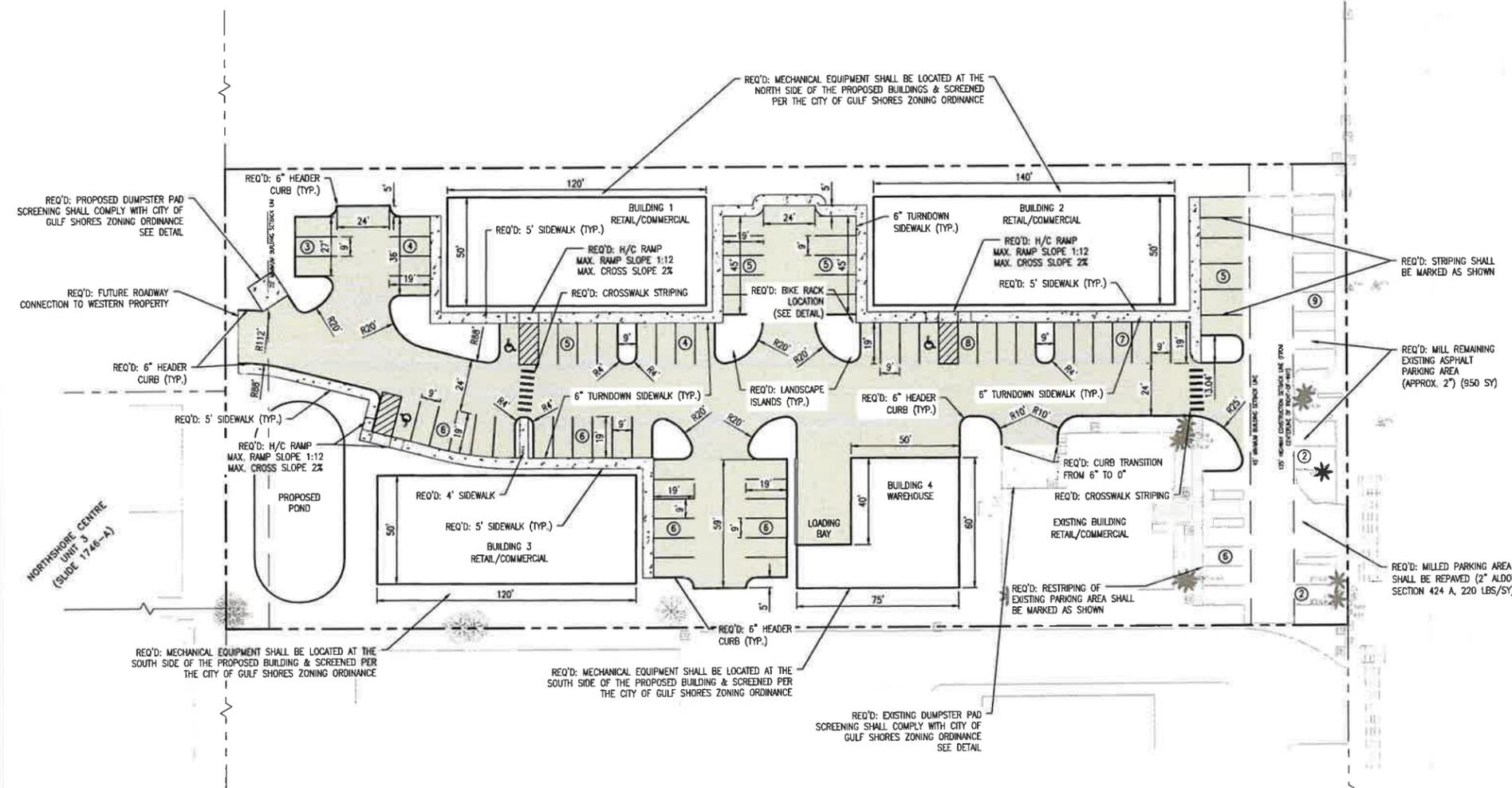
ENGINEER: SAWGRASS CONSULTING, L.L.C.
(251) 544-7900 (OFFICE)
(251) 544-7918 (FAX)

SITE DATA TABLE

| | |
|--|-------------------------------|
| SITE | |
| LOT AREA | = 110,285 SQ. FT. (2.53 AC.±) |
| MAXIMUM BUILDING HEIGHT | = 8 STORIES |
| MAX LOT COVERAGE | = 80% |
| EXISTING/PROPOSED ZONING | = BA |
| PROPOSED BUILDING/USE | = RETAIL/COMMERCIAL |
| FACILITIES DATA | |
| PROPOSED BUILDINGS - RETAIL/COMMERCIAL | |
| BUILDING FOOTPRINT - 26,305 SF | |
| FLOOR AREA RATION - 26,305 SF / 110,285 SF = 23.85% | |
| TOTAL IMPERVIOUS AREA | |
| (BUILDINGS, ASPHALT, CONCRETE, ETC.) = 75,359 SF (1.73 AC) (69% OF THE SITE) | |
| POST DEVELOPMENT | |
| TOTAL PERVIOUS AREA (NATURAL, GRASS, LANDSCAPE, ETC.) = 34,848 SF (0.8 AC) (31% OF THE SITE) | |
| PARKING | |
| TOTAL PROVIDED | = 87 (4-HC VAN ACCESSIBLE) |
| SETBACKS | |
| FRONT | = 45' |
| SIDE | = N/A |
| REAR | = 20' |

PARKING CALCULATIONS

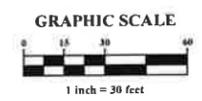
- EXISTING ROYAL STANDARD BUILDING (RETAIL)**
- 3,300 S.F.± RETAIL SPACE @ 1 SPACE/200 SF OF NFA = 17 SPACES REQ'D
 - 1,500 S.F.± STORAGE/RESTROOM = 0 SPACES REQ'D
- PROPOSED BUILDING 1 (COMMERCIAL RECREATION)**
- 6,000 S.F.± @ 1 SPACE/200 GFA = 30 SPACES REQ'D
- PROPOSED BUILDING 2 (PROFESSIONAL OFFICE)**
- 7,000 S.F.± @ 1 SPACE/200 GFA = 35 SPACES REQ'D
- PROPOSED BUILDING 3 (PERSONAL SERVICE ESTABLISHMENT)**
- 6,000 S.F.± @ 1 SPACE/250 GFA = 24 SPACES REQ'D
- PROPOSED BUILDING 4 (WAREHOUSE FOR ROYAL STANDARD BUILDING)**
- 3,500 S.F.± AS STORAGE FOR EXISTING RETAIL USE = 0 SPACES REQ'D
- SHARED PARKING DEMAND = 82 SPACES



LEGEND

- EXISTING ASPHALT SURFACE
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- CURB AND GUTTER
- PROPERTY BOUNDARIES
- PROPOSED FENCE

| NUMBER: | REVISION: | DATE: |
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SITE PLAN

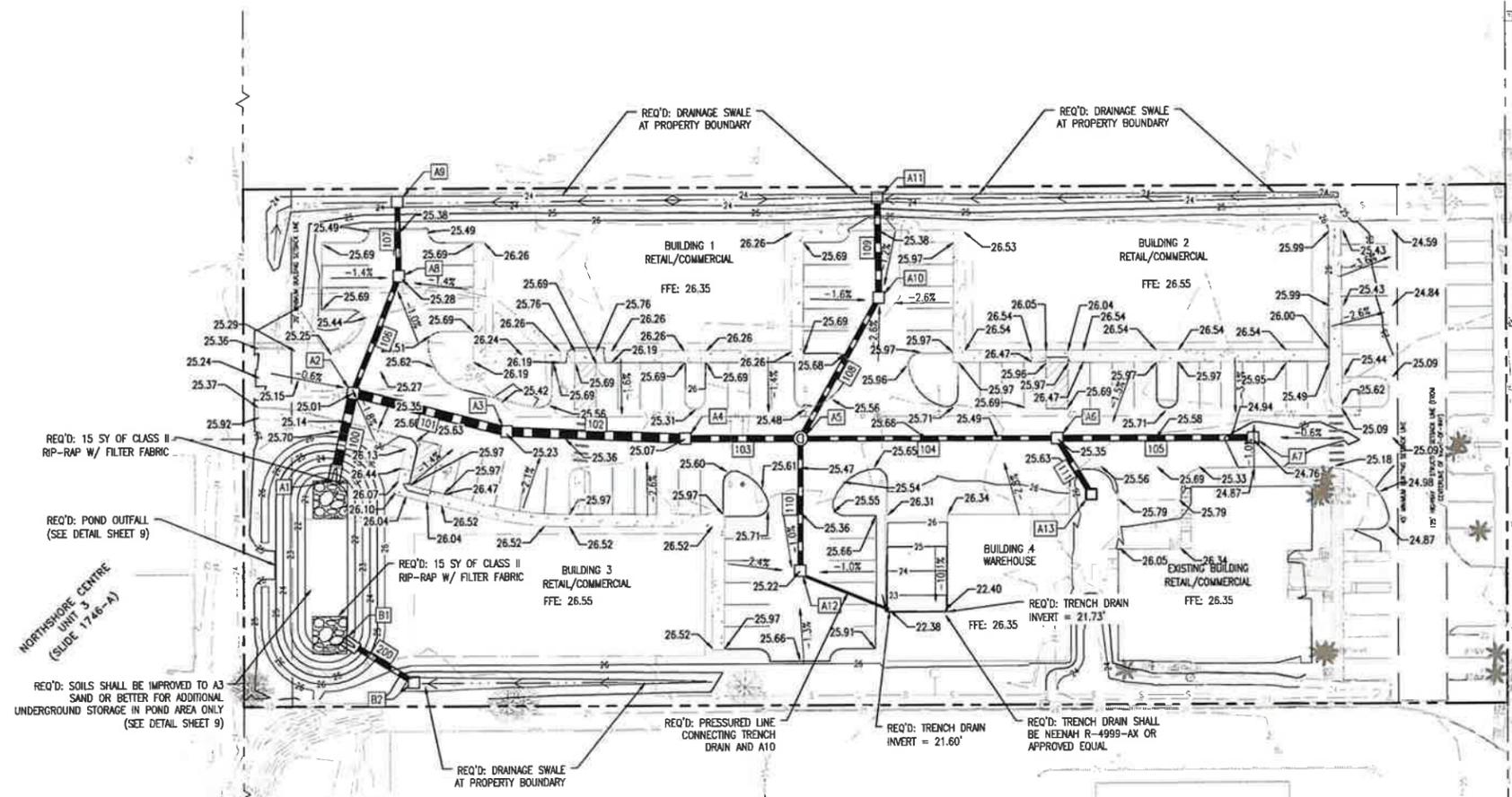
ROYAL STANDARD

THE FORTIS COMPANY

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|---------------------|
| SCALE: 1:30 |
| DATE: FEBRUARY 2026 |
| DRAWN BY: EI |
| CHECKED BY: EG |
| SHEET: 3 OF 12 |

GRADING AND DRAINAGE NOTES

1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
2. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.
3. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
4. ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE.
5. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ATM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL FILL MATERIAL TO BE UTILIZED ON THE PROJECT SHALL BE FREE OF ORGANIC OR OTHERWISE DELETERIOUS MATERIALS AND COMPACTED TO MINIMUM DRY DENSITIES CORRESPONDING TO 95% OF MAXIMUM DRY DENSITY AS OBTAINED BY STANDARD PROCTOR, ASTM D698 AND AT LEAST 98% OF STANDARD PROCTOR WITHIN 1 FOOT BELOW PAVEMENT SUB-GRADE. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEO-TECHNICAL ENGINEER WILL BE REQUIRED BY THE LOCAL JURISDICTIONAL INSPECTOR.
7. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 3.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL, OR MATCH EXISTING.
8. PROPOSED CONTOUR INTERVALS ARE AS LABELED. ALL PROPOSED CONTOURS ARE FINISHED GRADES.
9. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR RE-GRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS IN AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
10. EXCESS EARTH CUT MATERIAL, IF ANY, SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE APPROVED TO BE PLACED ON SITE BY THE OWNER.
11. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.
12. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL FRAME AND COVER FOR ACCESS.
13. THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
14. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
15. CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL FROM LIMITS OF ROADWAY CONSTRUCTION AS DIRECTED BY AN INDEPENDENT GEO-TECHNICAL ENGINEER. UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED.
16. ALL SPOT GRADES CALL OUT THE TOP OF PAVEMENT SURFACE ONLY. UNLESS OTHERWISE NOTED ON THESE PLANS.
17. NO FILL MATERIAL CONTAINING RED CLAY IS ALLOWED IN THIS LOCATION.
18. HANDICAP PARKING AREAS SHALL NOT EXCEED 2% CROSS SLOPE IN ANY DIRECTION.



REQ'D: 15 SY OF CLASS II RIP-RAP W/ FILTER FABRIC

REQ'D: POND OUTFALL (SEE DETAIL SHEET 9)

NORTHSHORE CENTRE UNIT 3 (SLIDE 1748-A)

REQ'D: SOILS SHALL BE IMPROVED TO A3 SAND OR BETTER FOR ADDITIONAL UNDERGROUND STORAGE IN POND AREA ONLY (SEE DETAIL SHEET 9)

REQ'D: DRAINAGE SWALE AT PROPERTY BOUNDARY

REQ'D: PRESSURED LINE CONNECTING TRENCH DRAIN AND A10

REQ'D: TRENCH DRAIN INVERT = 21.60'

REQ'D: TRENCH DRAIN SHALL BE NEENAH R-4999-AX OR APPROVED EQUAL

REQ'D: TRENCH DRAIN INVERT = 21.73'

REQ'D: TRENCH DRAIN SHALL BE NEENAH R-4999-AX OR APPROVED EQUAL

| STRUCTURE SCHEDULE | | | |
|--------------------|--------|---|-------------|
| NAME | RIM EL | INV IN | INV OUT |
| A1 SPH | 23.17 | 21.00 (100) | |
| A2 GI | 25.01 | 21.12 (101) 21.12 (106) | 21.12 (100) |
| A3 GI | 25.21 | 21.32 (102) | 21.32 (101) |
| A4 GI | 25.06 | 21.54 (103) | 21.54 (102) |
| A5 JB | 25.35 | 21.69 (108) 21.69 (110) 21.69 (104) | 21.69 (103) |
| A6 GI | 25.34 | 22.01 (105) 22.01 (111) | 22.01 (104) |
| A7 GI | 24.75 | | 22.25 (105) |
| A8 GI | 25.28 | 21.29 (107) | 21.29 (106) |
| A9 WI | 25.00 | | 21.39 (107) |
| A10 GI | 25.22 | 21.89 (109) | 21.89 (108) |
| A11 WI | 25.00 | | 22.02 (109) |
| A12 GI | 25.22 | | 21.86 (110) |
| A13 WI | 26.00 | | 22.09 (111) |
| B1 SPH | 22.71 | 21.00 (200) | |
| B2 WI | 24.21 | | 21.17 (200) |

| PIPE SCHEDULE | | | | | |
|---------------|--------------|-------|----------|---------|----------|
| PIPE NAME | SIZE | SLOPE | LENGTH | INV. IN | INV. OUT |
| 100 | 36"x23" RCAP | 0.33% | 33 L.F. | 21.12 | 21.00 |
| 101 | 36"x23" RCAP | 0.31% | 62 L.F. | 21.32 | 21.12 |
| 102 | 36"x23" RCAP | 0.30% | 70 L.F. | 21.32 | 21.54 |
| 103 | 24" RCP | 0.32% | 44 L.F. | 21.69 | 21.54 |
| 104 | 18" RCP | 0.30% | 102 L.F. | 22.01 | 21.69 |
| 105 | 22"x14" RCAP | 0.30% | 78 L.F. | 22.25 | 22.01 |
| 106 | 18" RCP | 0.33% | 47 L.F. | 21.29 | 21.12 |
| 107 | 18" RCP | 0.33% | 27 L.F. | 21.29 | 21.39 |
| 108 | 18" RCP | 0.30% | 62 L.F. | 21.89 | 21.69 |
| 109 | 22"x14" RCAP | 0.32% | 37 L.F. | 21.89 | 22.02 |
| 110 | 18" RCP | 0.31% | 51 L.F. | 21.86 | 21.69 |
| 111 | 18" RCP | 0.30% | 23 L.F. | 22.09 | 22.01 |
| 200 | 18" RCP | 0.51% | 30 L.F. | 21.00 | 21.17 |



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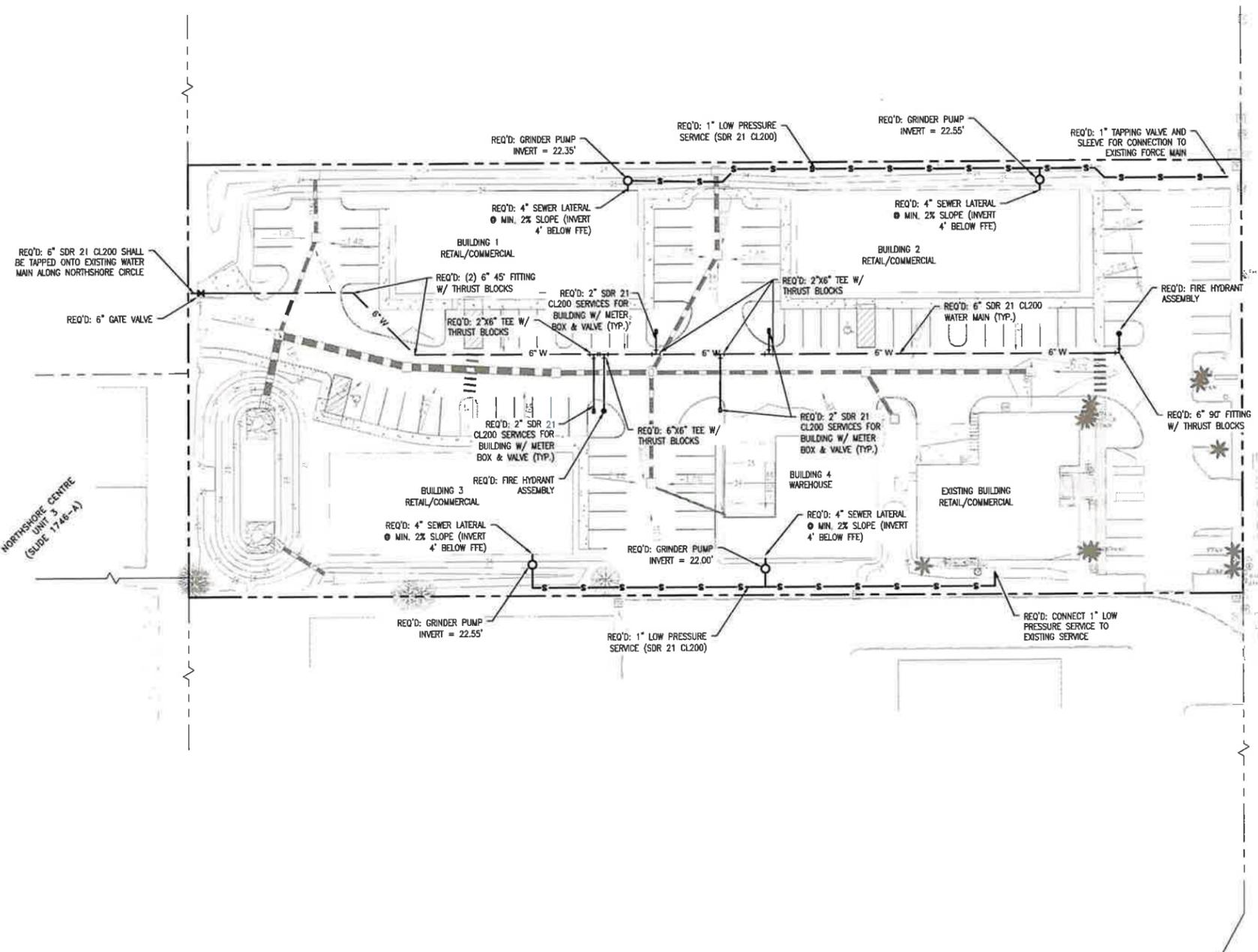
GRADING & DRAINAGE PLAN
 ROYAL STANDARD
 THE FORTIS COMPANY



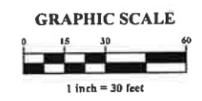
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| SCALE: 1:30 |
| DATE: FEBRUARY 2026 |
| DRAWN BY: EI |
| CHECKED BY: EG |
| SHEET: 4 OF 12 |

UTILITY PLAN NOTES

1. THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER'S CONSTRUCTION SURVEILLANCE REPRESENTATIVE AND LOCAL JURISDICTIONAL INSPECTOR 48 HOURS BEFORE THE BEGINNING OF EACH PHASE OF CONSTRUCTION.
2. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLAN.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
5. THE CONTRACTOR IS REQUIRED TO USE THE ONE-CALL CENTER TELEPHONE NUMBER FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS ARE NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. CONTRACTOR TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING AND COMPACTED SUB-GRADE.
8. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES.
9. THE CONTRACTORS SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE BY HIS EQUIPMENT TO EXISTING UTILITIES, CROSS-DRAIN PIPES AND HEADWALLS.
10. THE CONTRACTOR SHALL EXPLORE AHEAD 200 FEET SO ADJUSTMENTS CAN BE MADE IN THE ALIGNMENT OF THE PIPE IN CASE OF CONFLICTS WITH EXISTING STRUCTURES, UTILITIES AND PIPING.
11. ALL EXCESS MATERIAL FROM EXCAVATION SHALL BE DISPOSED OF BY THE CONTRACTOR. COST FOR THIS WORK SHALL BE INCLUDED IN OTHER ITEMS OF WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING PIPE FROM FLOATING. IF PIPE FLOATS DURING CONSTRUCTION, THE CONTRACTOR SHALL RELAY PIPE TO GRADE AT HIS EXPENSE.
13. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT OF SANITARY SEWER FOR CONNECTION TO EXISTING OR PROPOSED SEWER SYSTEM.
14. THE WATER SYSTEM IN THE PUBLIC RIGHT-OF-WAY WILL BECOME THE PROPERTY OF THE CITY OF GULF SHORES UTILITIES BOARD UPON COMPLETION.
15. ALL PROPERTY LINE MARKERS (IRON PINS, CONCRETE MONUMENTS, ETC.) DESTROYED DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR REGISTERED IN THE STATE OF ALABAMA TO RESET PROPERTY MARKERS. THE COST FOR THIS WORK SHALL BE INCLUDED IN OTHER ITEMS OF WORK.
16. THE CONTRACTOR SHALL MEET OR EXCEED ALL REQUIREMENTS OF THE CITY OF GULF SHORES UTILITIES BOARD'S CONSTRUCTION SPECIFICATIONS.
17. PLEASE REFER TO THE ARCHITECTURAL/MEP PLANS FOR ALL HVAC AND MECHANICAL EQUIPMENT LOCATIONS. SCREENING FOR THIS EQUIPMENT SHALL COMPLY WITH THE CITY OF GULF SHORES ZONING ORDINANCE.



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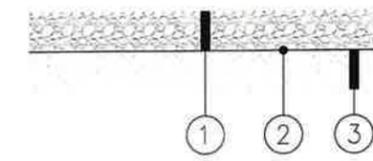
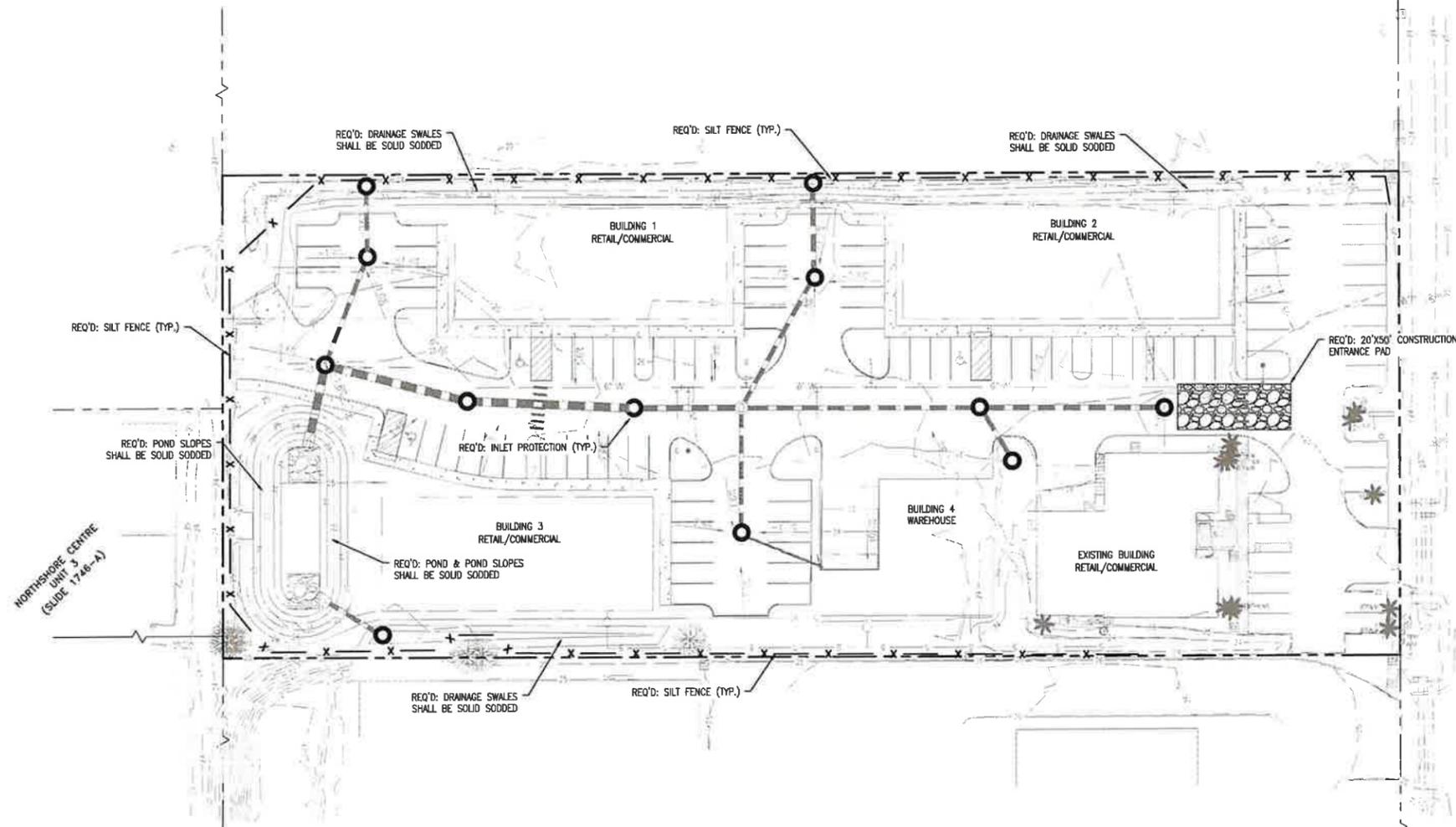
Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900

UTILITY PLAN
ROYAL STANDARD
THE FORTIS COMPANY

SCALE: 1:30
DATE: FEBRUARY 2026
DRAWN BY: EI
CHECKED BY: EG
SHEET: 5 OF 12

SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORM WATER MANAGEMENT FOR CONSTRUCTION SITES AND URBAN AREAS, VOLUME 1 AND 2, LATEST EDITION.
2. THE MEASURES SET FORTH IN THE EROSION CONTROL PLAN ARE INTENDED AS THE MINIMUM STANDARDS, ANY EROSION CONTROL MEASURE BEYOND THAT SPECIFIED IN THE PLAN, THAT IS REQUIRED TO COMPLY WITH LOCAL, STATE, AND FEDERAL LAW, SHALL BE IMPLEMENTED.
3. IN THE EVENT THAT EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THE EROSION CONTROL PLAN PROVE NOT TO BE EFFECTIVE, ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ALL ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE REVIEWED AND APPROVED BY LOCAL AND STATE COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.
4. THE CONTRACTOR SHALL INSPECT INSTALLED BMP'S AT LEAST ONCE EVERY SEVEN (7) DAYS AND REPAIR OR REPLACE MY DAMAGED OR INEFFECTIVE DEVICES.
5. THE CONTRACTOR SHALL INSPECT INSTALLED BMP'S WITHIN 24 HOURS AFTER PRECIPITATION EVENTS OF 0.50 INCHES OR GREATER AND REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE DEVICES.
6. DISTURBED AREAS SHALL BE GRADED, SODDED, OR VEGETATED (SEEDED AND MULCHED) WITHIN 13 DAYS OF ANY CONSTRUCTION ACTIVITY FOR AN EFFECTIVE BMP.
7. ALL AREAS IDENTIFIED TO HAVE SOLID SODDING, SHALL BE VEGETATED WITH PERMANENT SEEDING (SEASONAL MIX) IN ACCORDANCE WITH SECTION 860, TABLE FOR ZONE 3 IN THE ALABAMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS HIGHWAY CONSTRUCTION (CURRENT EDITION).
8. SILT FENCE MUST MEET THE REQUIREMENTS OF LOCAL JURISDICTIONAL AGENCY, SAID REQUIREMENTS AS SHOWN BY THESE PLANS.
9. WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE:
 - A. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY BUILDING OR OTHER EXCAVATION SPOIL DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE DRAINAGE AREA SHOWN HEREON IN AN EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.
 - B. THE CONTRACTOR HEREBY AGREES TO STOP ALL WORK AND RESTORE THESE AREAS IMMEDIATELY UPON NOTIFICATION BY THE LOCAL JURISDICTIONAL INSPECTOR AND/OR PROFESSIONAL ENGINEER.
10. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.
11. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY THE ENGINEER OR LOCAL JURISDICTIONAL INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
12. ALL SLOPES SHALL BE STABILIZED AND VEGETATED AS SOON AS POSSIBLE. USE EROSION CONTROL BLANKET (ECB) WHERE GRASSING SLOPES ARE INTERMITTENT.
13. ALL CONSTRUCTION WASTE AND DEBRIS, SILT FENCES, HAY BALES, AND INLET PROTECTION AND OTHER TEMPORARY BMP'S SHALL BE REMOVED FROM THE SITE UPON CONSTRUCTION COMPLETION.
14. INACTIVE PROJECTS (MORE THAN 7 DAYS) SHALL BE MULCHED IF INACTIVE FOR LESS THAN 60 DAYS. IF INACTIVE FOR MORE THAN 60 DAYS, DISTURBED AREAS SHALL BE SEEDED & MULCHED.

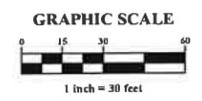


TEMPORARY CONSTRUCTION ENTRANCE SECTION
N.T.S.
1. 4" THICK, NO. 1 STONE
2. TERRA TEX NON-WOVEN FILTER CLOTH
3. EXISTING GRADE OR BORROW (A-2-4 MATERIAL OR BETTER)

EROSION CONTROL LEGEND

- x — PROPOSED "A" DOUBLE SILT FENCE
- PROPOSED INLET PROTECTION (WATTLE)

| NUMBER: | REVISION: | DATE: |
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Sawgrass
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| EROSION CONTROL PLAN |
| ROYAL STANDARD |
| THE FORTIS COMPANY |



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| SCALE: 1:30 |
| DATE: FEBRUARY 2026 |
| DRAWN BY: EI |
| CHECKED BY: EG |
| SHEET: 6 OF 12 |



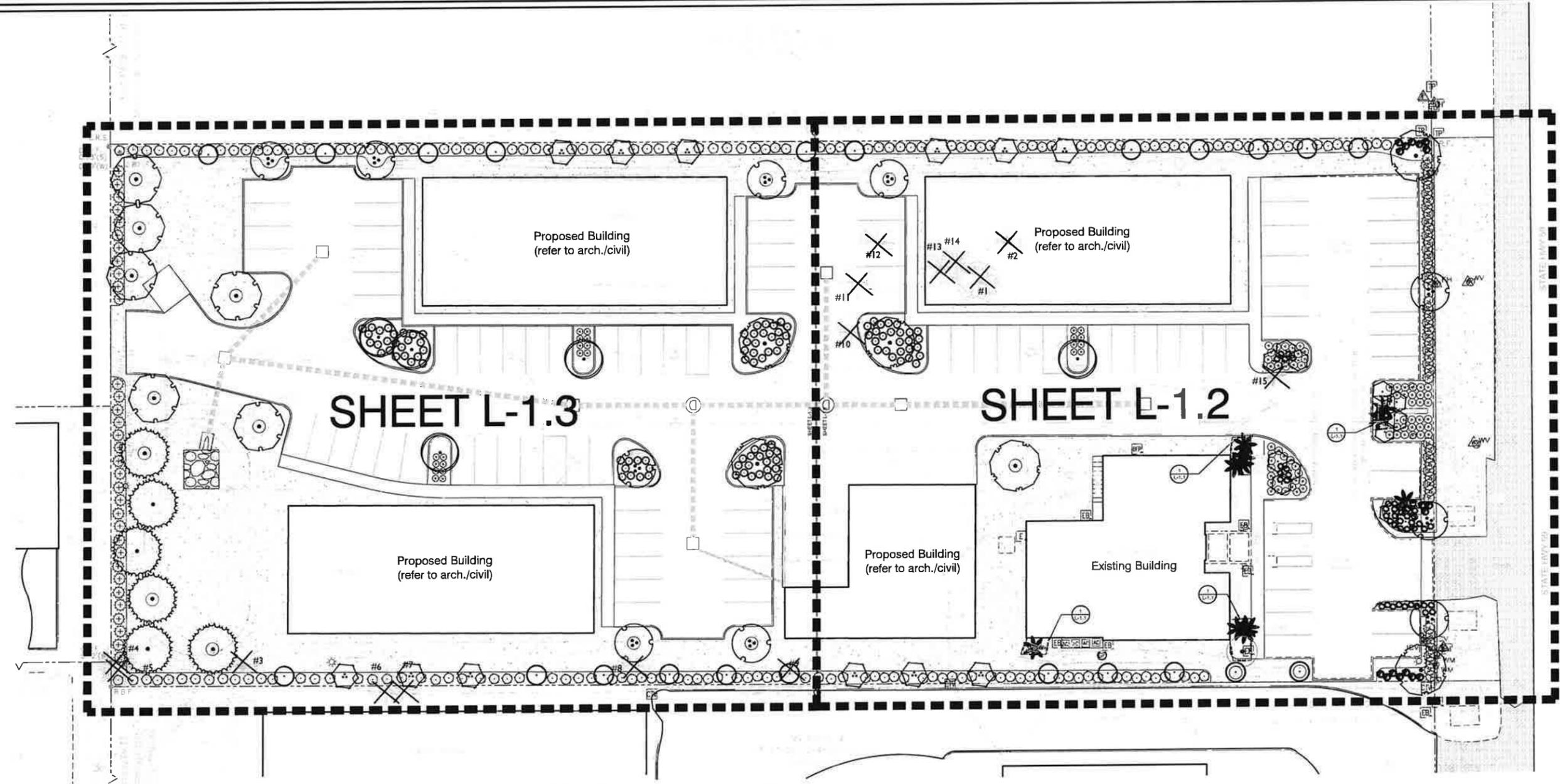
ESPALIER
landscape architecture

Espalier, LLC
P.O. Box 1247
Fairhope, Alabama 36533
P: 251.454.3500
espalierdesign.com

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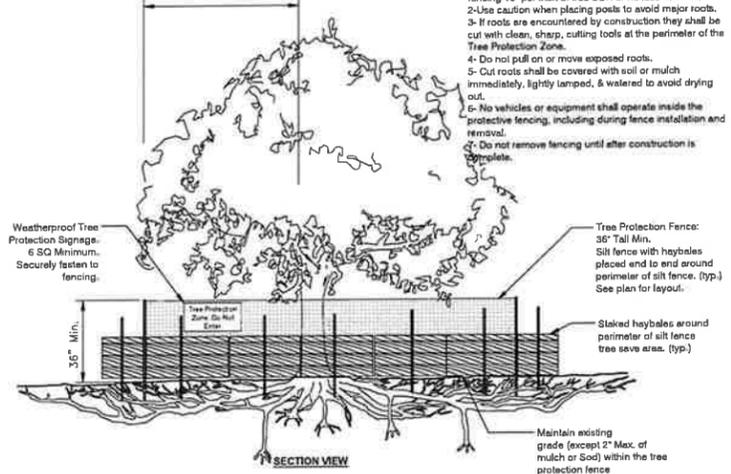
ROYAL STANDARD

GULF SHORES, AL



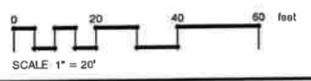
Place fencing 15" per inch of tree DBH (e. 10" DBH = Fence 150" (12.5) from trunk)
In no case shall TP fencing be less than Ten (10) feet from edge of trunk. (TYP.)

- Notes:
- 1- Before any work is performed, Place tree protection fencing 15" per inch of tree DBH or no less than 10'.
 - 2- Use caution when placing posts to avoid major roots.
 - 3- If roots are encumbered by construction they shall be cut with clean, sharp, cutting tools at the perimeter of the Tree Protection Zone.
 - 4- Do not pull on or move exposed roots.
 - 5- Cut roots shall be covered with soil or mulch immediately, lightly lamped, & watered to avoid drying out.
 - 6- No vehicles or equipment shall operate inside the protective fencing, including during fence installation and removal.
 - 7- Do not remove fencing until after construction is complete.



1 TREE PROTECTION (GULF SHORES)
1/4" = 1'-0"

- NOTES:
1. All areas disturbed by construction shall be sodded or mulched unless otherwise noted.
 2. Any sod in Right of Way shall be hand watered until established.
 3. NO WORK SHALL BE PERFORMED WITH IN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
 4. See sheet L-1.2-L-1,4 for details & schedule.
 5. Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.



- NOTES:
1. BASE SURVEY PROVIDED BY SAWGRASS ENGINEERING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.



Know what's below.
Call before you dig.

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| ISSUED/REVISED |
| Permitting 1/5/26 |
| City Comment 2/13/26 |
| City Comment 2/19/26 |

LANDSCAPE PLAN

| | |
|---------------------|-----------------------|
| DESIGNED BY JC | FILE NAME ROYSTOLA |
| DRAWN BY JC | SHEET L-1.1 |
| PROJECT NO. 2601 | |
| DATE 12/29/25 | |

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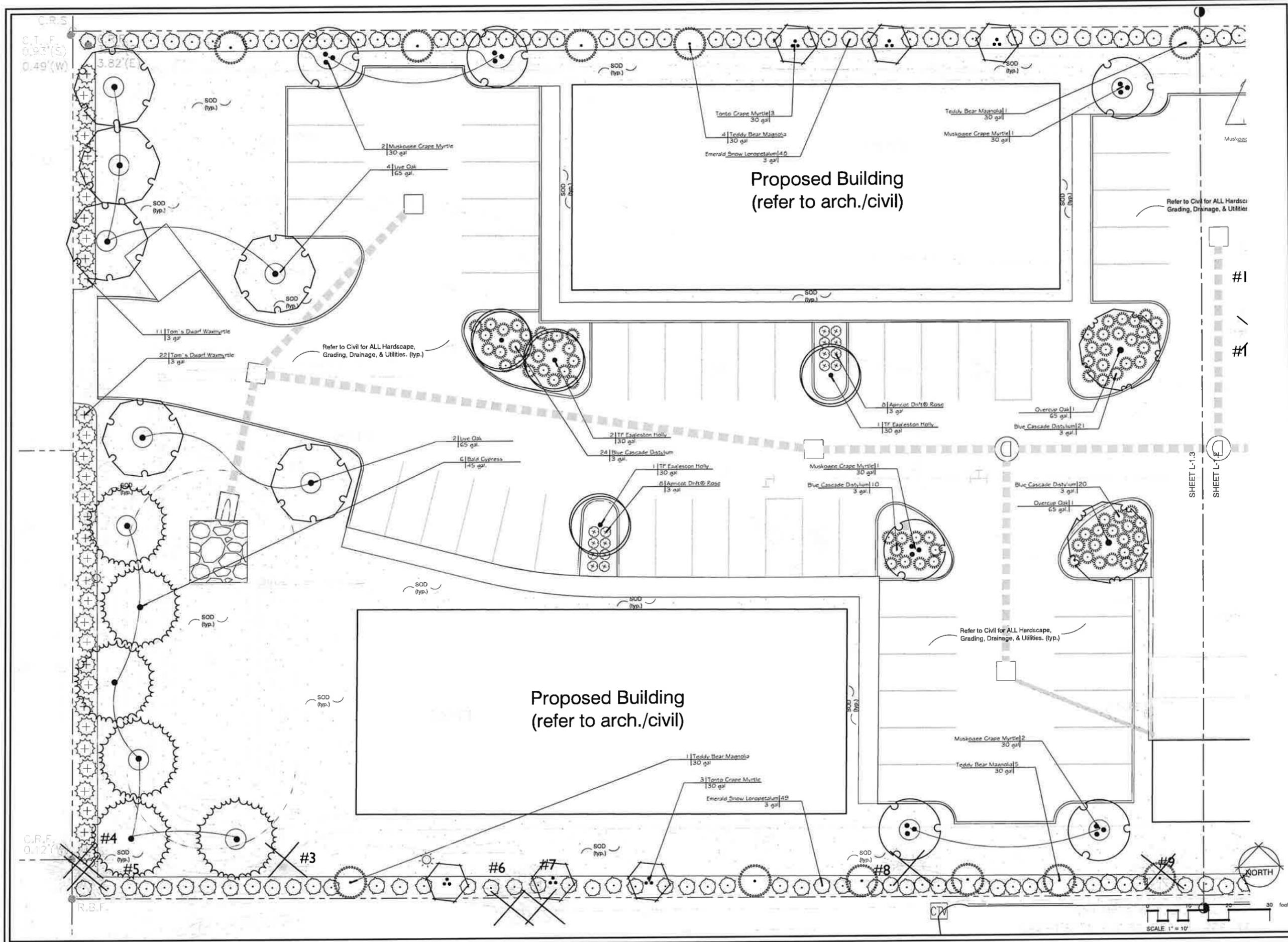
ROYAL STANDARD
GULF SHORES, AL



| ISSUED/REVISED |
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| Permitting 1/5/26 |
| City Comment 2/13/26 |
| City Comment 2/19/26 |

LANDSCAPE PLAN

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| DESIGNED BY JC | FILE NAME ROYALSTANDARD |
| DRAWN BY JC | SHEET L-1.3 |
| CHECKED BY JC | PROJECT NO. 2601 |
| DATE 12/29/25 | |

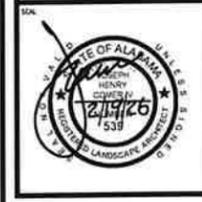


#1 / #1

SHEET L-1.3
SHEET L-1.4



SCALE 1" = 10'



ISSUED/REVISED

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| Permitting | 1/5/26 |
| City Comment | 2/13/26 |
| City Comment | 2/19/26 |

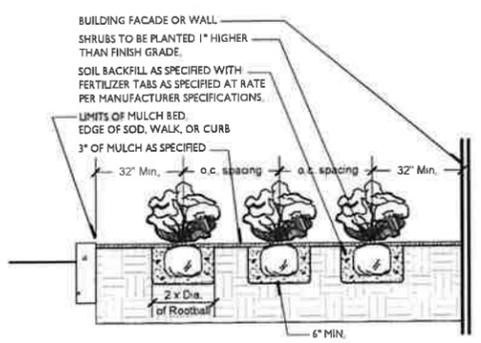
LANDSCAPE DETAILS

DESIGNED BY: JC
DRAWN BY: JC
CHECKED BY: JC
REVIEW NO.: 2501
DATE: 12/28/25

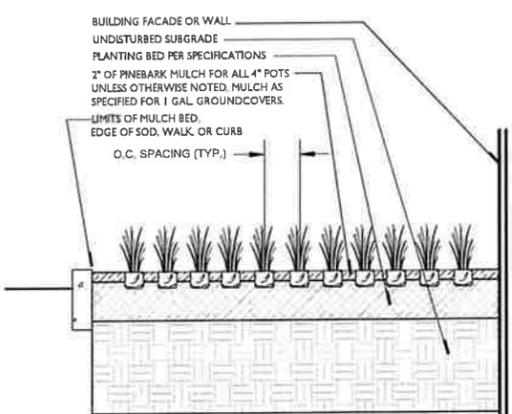
FILE NAME: ROYALSTLA
SHEET: L-1.4

LANDSCAPE NOTES:

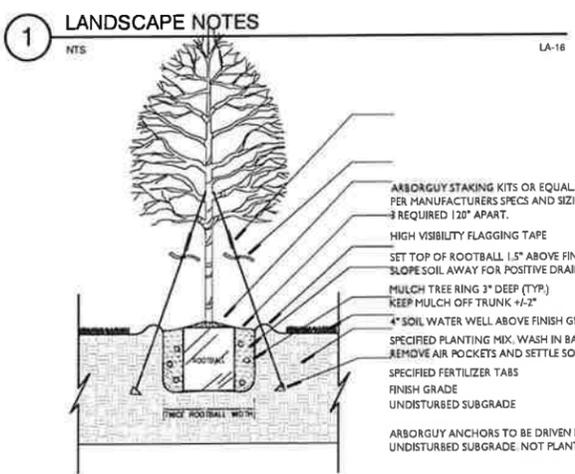
- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architect's attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plant list are for convenience only.
- All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
- All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
- All beds shall receive Freehand pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
- All bed lines shall have 3" V-Shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
- All disturbed areas shall be irrigated and sodded.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.



3 SHRUB PLANTING DETAIL
N.T.S. LA-02



4 GROUND COVER PLANTING DETAIL
N.T.S. LA-03



1 TREE PLANTING
N.T.S. DETAIL-FILE



5 TRENCH BED EDGE
N.T.S. LA-04

PLANT SCHEDULE

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | HEIGHT | SPECS | CANOPY | REMARKS |
|--------------|------|-----|-----------------------------------|-----------------------|-----------|-----------------------|-------------------------------|--------|--|
| TREES | | | | | | | | | |
| IE | 5 | | Ilex x attenuata 'Eagleston' | TF Eagleston Holly | 30 gal | 8' Ht. Min. | 2" Cal. Min. | 15' | Single Trunk, Tree Form |
| LT | 10 | | Lagerstroemia x 'Muskogee' | Muskogee Crape Myrtle | 30 gal | 8' Ht. Min. | (3) Canes Min. @ 17"Cane Min. | 15' | Multi Trunk, Tree Form, Greenforest Nursery |
| LT2 | 12 | | Lagerstroemia x 'Tonto' | Tonto Crape Myrtle | 30 gal | 8' Ht. Min. | (3) Canes Min. @ 17"Cane Min. | 10' | Multi Trunk, Tree Form |
| MT | 22 | | Magnolia grandiflora 'Teddy Bear' | Teddy Bear Magnolia | 30 gal | 8' Ht. Min. | 1.5" Cal. Min. | 8' | Full to Ground, Specimen |
| QO | 6 | | Quercus lyrata | Overcup Oak | 65 gal. | 12' Ht. Min. | 3" Cal. Min. | 20' | |
| QV | 6 | | Quercus virginiana | Live Oak | 65 gal. | 12' Ht. Min. | 3" Cal. Min. | 20' | |
| TD | 6 | | Taxodium distichum | Bald Cypress | 45 gal | 12' Ht. Min. | 3" Cal. Min. | 20' | |
| WR | 12 | | Washingtonia robusta | Washingtonia Palm | 14-18" CT | See plan for heights. | | 8' | Booted, Heavy Trunks, Approve photo with LA. |

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONTAINER | SIZE | SPACING | REMARKS |
|---------------|------|-----|---------------------------------------|--------------------------|-----------|------|----------|---------|
| SHRUBS | | | | | | | | |
| DA | 101 | | Distylium x 'PIDIST-II' | Blue Cascade Distylium | 3 gal. | | 42" o.c. | |
| JP | 63 | | Juniperus davurica 'Parsonii' | Parson's Juniper | 3 gal | | 36" o.c. | |
| LI | 175 | | Loropetalum chinense 'Shang-white' | Emerald Snow Loropetalum | 3 gal | | 48" o.c. | |
| MW | 45 | | Muhlenbergia capillaris 'White Cloud' | White Cloud Muhly Grass | 3 gal | | 36" o.c. | |
| TD2 | 81 | | Myrica cerifera 'Tom's Dwarf' | Tom's Dwarf Waxmyrtle | 3 gal | | 60" o.c. | |
| PP | 17 | | Podocarpus macrophyllus 'Pringles' | Pringles Podocarpus | 3 gal. | | 36" o.c. | |
| RA | 24 | | Rosa x 'Meimirote' | Apricot Drift® Rose | 3 gal | | 30" o.c. | |

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | SPACING | REMARKS |
|----------------------|--------|-----|----------------------------|-------------------|------|-----------|---------|-----------------------------------|
| GROUND COVERS | | | | | | | | |
| CT | 29,994 | sf | Cynodon dactylon 'Tif 419' | 419 Bermuda Grass | sod | | | Contractor shall verify quantity. |

NOTES:

- NO LANDSCAPE MATERIAL SHALL OBSTRUCT VISIBILITY BETWEEN THE HEIGHTS OF THREE (3) & EIGHT (8) FEET ABOVE GRADE IN VEHICULAR USE AREAS.
- ALL NEW OVERSTORY TREES MUST BE A MINIMUM INITIAL CALIPER OF THREE (3) INCHES
- ALL NEW CITY REQUIRED TREES MUST HAVE A TWO (2) YEAR WARRANTY.
- 4 1/4" GAL POTS TO BE PLANTED IN 3" OF PLANTING MIX AND TOP DRESSED WITH GROUND PINEBARK.
- USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
- PREP PLANTING PITS & GROUND COVER AREAS WITH PLANTING MIX. SEE NOTES.
- SOD ALL AREAS DISTURBED BY CONSTRUCTION NOT SHOWN TO BE PLANTED.
- THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
- SEE LANDSCAPE NOTES & SPECIFICATIONS.

APPROVED NURSERIES:

- GREEN FOREST NURSERY
- FLOWERWOOD NURSERY
- CHERRY LAKE NURSERY

Other nurseries may be approved at the discretion of the landscape architect.

TREE TABLE

Trees To Be Removed:

- #1 - 16" Oak - Inside building foot print
- #2 - 9" Pine - Inside building foot print
- #3 - 15" Pine
- #4 - 10" Popcorn (invasive) **Not protected**
- #5 - 7" Popcorn (invasive) **Not protected**
- #6 - 10" Popcorn (invasive) **Not protected**
- #7 - 14" Popcorn (invasive) **Not protected**
- #8 - 12" Popcorn (invasive) **Not protected**
- #9 - 10" Popcorn (invasive)
- #10 - 7" Popcorn (invasive)
- #11 - 14" Popcorn (invasive)
- #12 - 7" Popcorn (invasive)
- #13 - 7" Popcorn (invasive)
- #14 - 8" Popcorn (invasive)
- #15 - 10" Sabal - **Not protected**

Total Perimeter to Remain = 15 DBH / 3 = 5 Replacements

TREE NOTES:

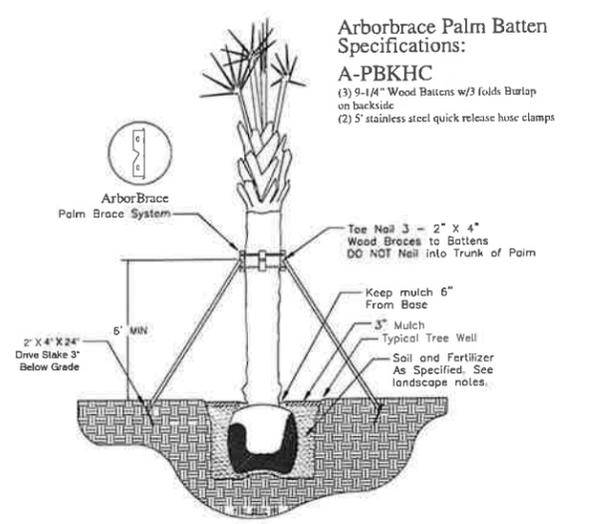
- All trees shall be container grown unless otherwise noted or approved.
- Approve photos of ALL plant material with Landscape Architect.
- Trees must meet size specifications regardless of container size.

IRRIGATION NOTE:

Contractor shall provide a separate price for an automatic irrigation system. System shall provide 100% head to head coverage using Rainbird irrigation products, installed per manufactures instructions.

CITY OF GULF SHORES LANDSCAPE REQUIREMENTS:

Road Frontage Trees = 212.18/25' = 8 Mixed Lrg. Med. Sm Trees Required
 Road Frontage Shrubs = 212.18/20' = 11 x 6 = 66 Shrubs Required (3 Species)
 Perimeter Trees = 1252.13/25' = 50 Med. or Small Trees Required
 Perimeter Shrubs = 1252.13/25' = 50 x 4 = 200 Shrubs Required



6 PALM STAKING DETAIL
3" = 1'-0" LA-44

NOTES:

- All areas disturbed by construction shall be sodded or mulched unless otherwise noted.
- Any sod in Right of Way shall be hand watered until established.
- NO WORK SHALL BE PERFORMED WITH IN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
- See sheet L-1, 2-L-1.4 for details & schedule.
- Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.





ESPALIER
landscape architecture

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ROYAL STANDARD

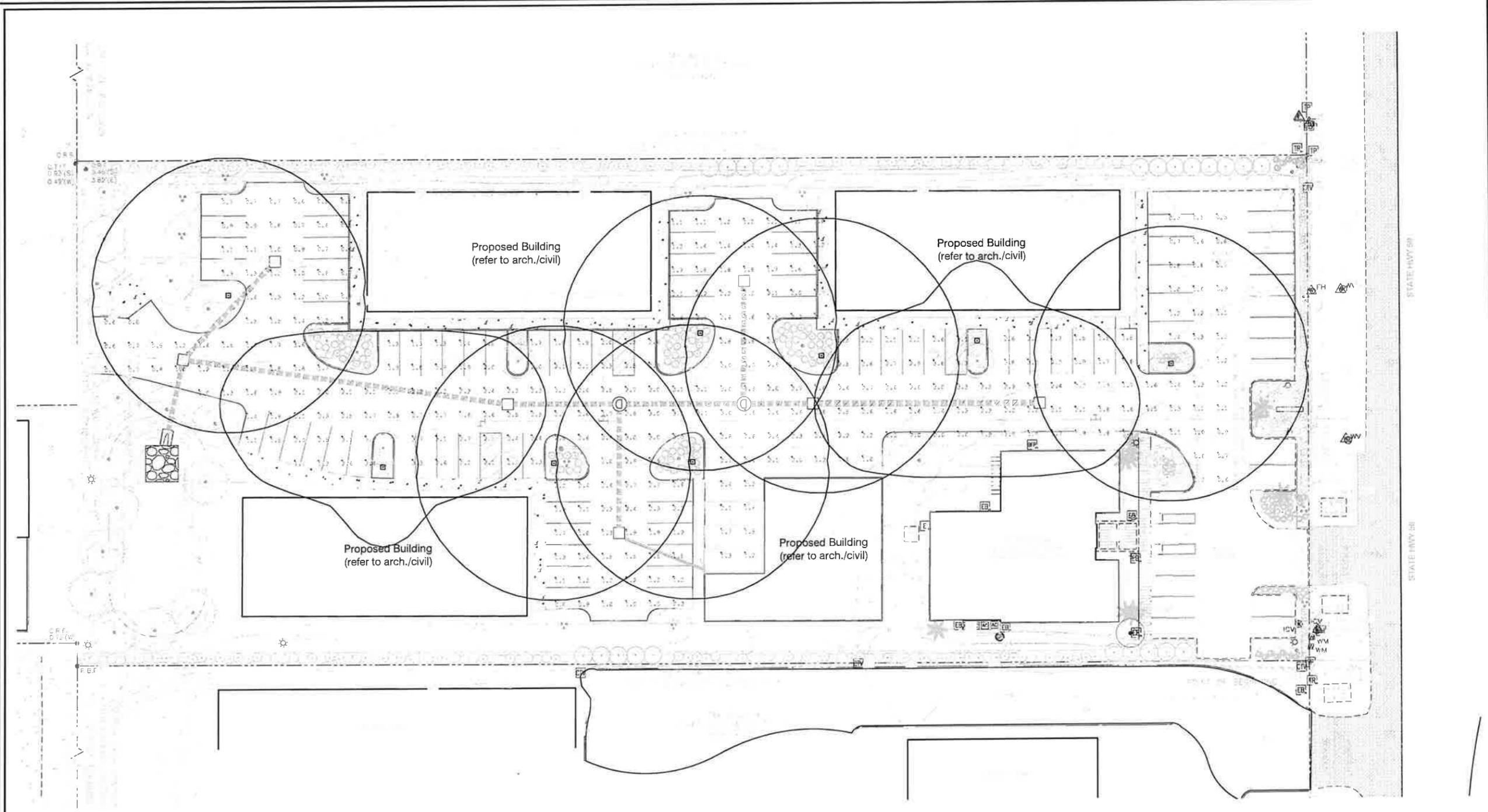
GULF SHORES, AL



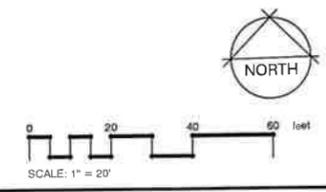
| ISSUED/REVISED |
|----------------------|
| City Comment 2/13/28 |
| |
| |
| |
| |

SITE LIGHTING LAYOUT

| | |
|---------------------|-----------------------|
| DESIGNED BY JC | FILE NAME ROYSTDLA |
| DRAWN BY JC | SHEET L-2.1 |
| CHECKED BY JC | |
| PROJECT NO. 2831 | |
| DATE 2/13/28 | |



- NOTES:
1. BASE SURVEY PROVIDED BY SAWGRASS ENGINEERING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.



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ROYAL STANDARD
GULF SHORES, AL

RSX2 LED Area Luminaire



Specifications

- SKU: RSX2-40K-R3
- Length: 12.00 in
- Height: 12.00 in
- Weight: 12.00 lbs
- Material: Aluminum
- Finish: Black

Ordering Information

EXAMPLE: RSX2 LED P2 40K R3 MVOLT SPA DBBXD

| Part | Description | Quantity | Notes |
|------|---|----------|-------|
| RSX2 | RSX2 LED P2 40K R3 MVOLT SPA DBBXD | 2 | |
| RTA | RTA Round Tapered Aluminum Pole 25' 6E DM19AS FBC | 1 | |

Ordering Information

Accessories

- External Glass Shield
- External Glass Shield
- External Glass Full View

External Shields



Pole/Mounting Information

Round Taper Mount - Pole Top Skyline

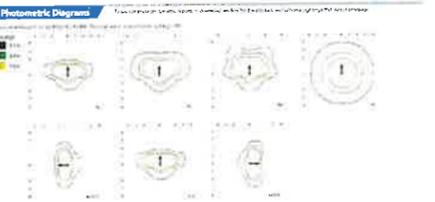
Mounting Orientation

Mounting Location by Configuration Type

RSX2 - Luminaire EPA

| Configuration | Beam Spread | Beam Angle | Beam Diameter | Beam Length | Beam Area | Beam Volume |
|---------------|-------------|------------|---------------|-------------|-----------|-------------|
| 1 | 10 | 10 | 10 | 10 | 10 | 10 |

Photometric Diagrams



Performance Data

Lumen Output

| Configuration | Lumen Output | Beam Spread | Beam Angle | Beam Diameter | Beam Length | Beam Area | Beam Volume |
|---------------|--------------|-------------|------------|---------------|-------------|-----------|-------------|
| 1 | 17657 | 10 | 10 | 10 | 10 | 10 | 10 |

Electrical Load

| Configuration | Watts | Volts | Amperes |
|---------------|--------|-------|---------|
| 1 | 114.07 | 120 | 0.95 |

Proposed LED Luminaire Maintenance

Performance Data

Lumen Output

| Configuration | Lumen Output | Beam Spread | Beam Angle | Beam Diameter | Beam Length | Beam Area | Beam Volume |
|---------------|--------------|-------------|------------|---------------|-------------|-----------|-------------|
| 1 | 17657 | 10 | 10 | 10 | 10 | 10 | 10 |

Electrical Load

| Configuration | Watts | Volts | Amperes |
|---------------|--------|-------|---------|
| 1 | 114.07 | 120 | 0.95 |

Proposed LED Luminaire Maintenance

LITHONIA LIGHTING

RTA Round Tapered Aluminum Pole

Anchor Base Pole

RTA

ROUND TAPERED ALUMINUM

Features & Specifications

- Material: Aluminum
- Finish: Black
- Height: 25' 6E
- Weight: 120 lbs

RTA Round Tapered Aluminum Poles

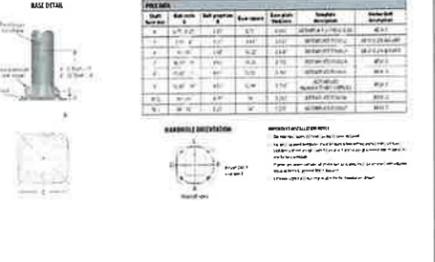
| Part | Description | Quantity | Notes |
|------|---|----------|-------|
| RTA | RTA Round Tapered Aluminum Pole 25' 6E DM19AS FBC | 1 | |

RTA Round Tapered Aluminum Poles

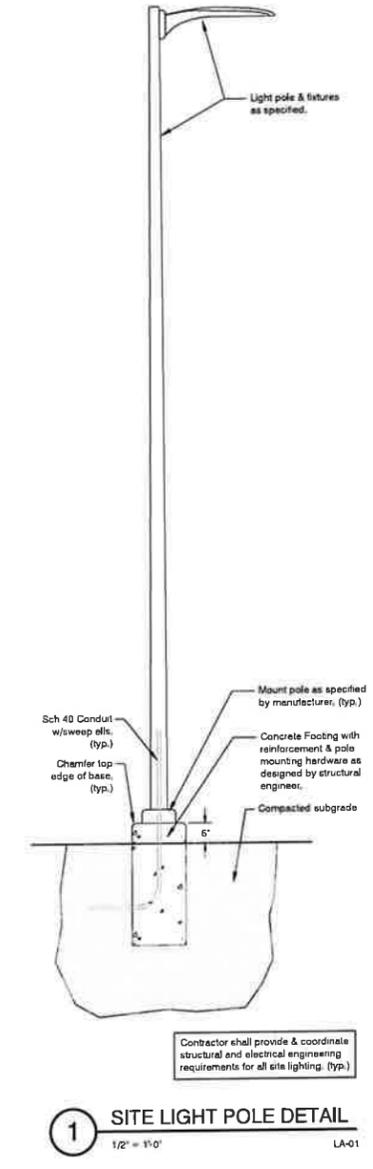
| Part | Description | Quantity | Notes |
|------|---|----------|-------|
| RTA | RTA Round Tapered Aluminum Pole 25' 6E DM19AS FBC | 1 | |

RTA Round Tapered Aluminum Poles

BASE DETAIL



CONTRACTOR SHALL PROVIDE & COORDINATE STRUCTURAL AND ELECTRICAL ENGINEERING REQUIREMENTS FOR ALL SITE LIGHTING (Typ.)



Luminaire Schedule

| Symbol | Qty | Label | Arrangement | Description | Tag | LLF | Luminaire Lumens | Luminaire Watts | Total Watts |
|--------|-----|-------|-------------|--|-----------------------------------|-------|------------------|-----------------|-------------|
| □ | 2 | PL3 | Single | ABL # RSX2 LED P2 40K R3 MVOLT RPA DDBXD | POLE # RTA 25 6E DM19AS FBC DDBXD | 0.890 | 17202 | 114.07 | 228.14 |
| □ | 6 | PL5 | Single | ABL # RSX2 LED P2 40K R5 MVOLT RPA DDBXD | POLE # RTA 25 6E DM19AS FBC DDBXD | 0.890 | 17657 | 114.07 | 684.42 |

Calculation Summary

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|---------------|-------------|-------|------|-----|-----|---------|---------|
| Site Lighting | Illuminance | Fc | 1.89 | 4.3 | 0.5 | 3.78 | 8.60 |

- SITE LIGHTING NOTES:**
- Light pole foundations/wind loading shall be designed by an Alabama licensed structural engineer as required by code, permitting, etc.
 - Electrical circuitry, panel connections, & wire sizing shall be designed by an Alabama licensed electrical engineer as required by code, permitting, etc.
 - Site lighting layout & details are for fixture & pole locations including photometric data.



ISSUED/REVISED

| City | Comment | Date |
|------|---------|------|
| | 2/13/26 | |

SITE LIGHTING DETAILS

RECORD BY
JC

FILE NAME
ROYSTDLA

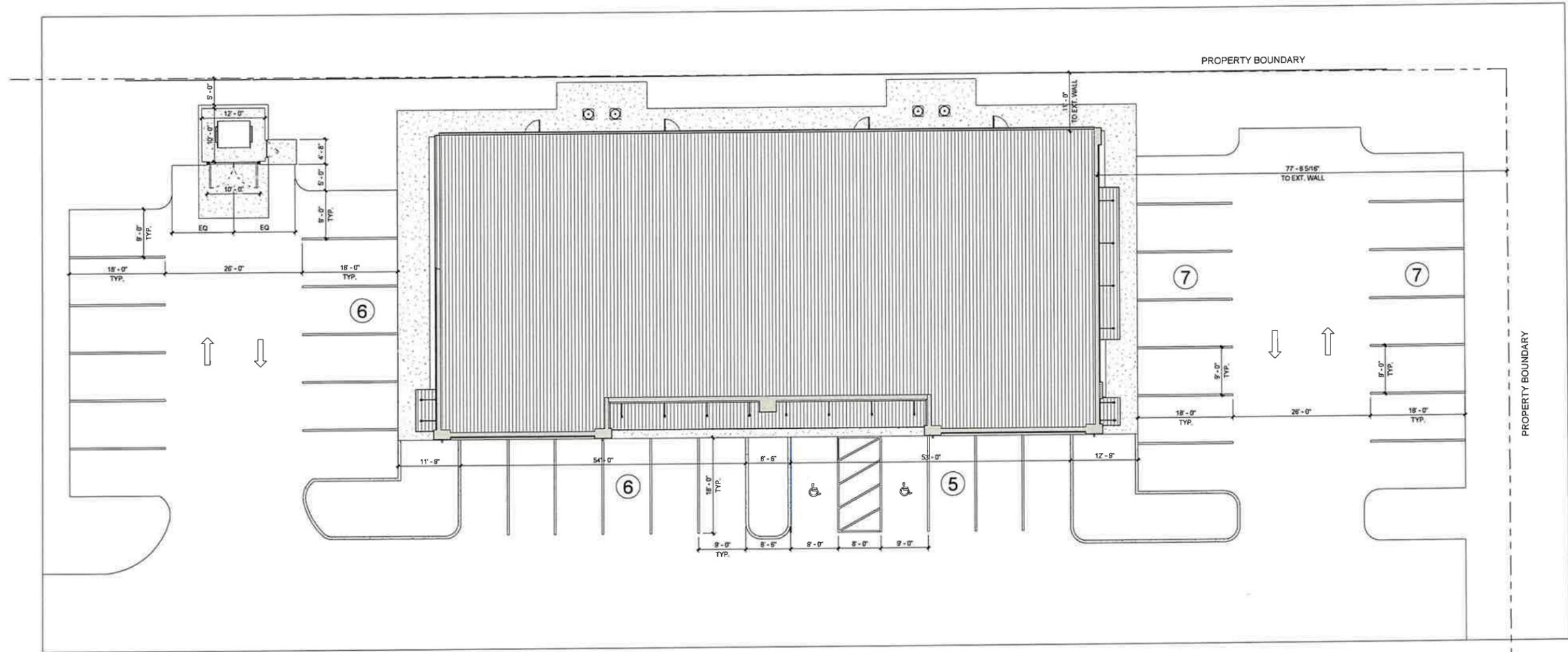
DRAWN BY
JC

CHECKED BY
JC

PROJECT NO.
2501

DATE
2/13/26

SHEET TITLE
L-2.2



① SITE
1" = 10'-0"

| SITE DATA: | |
|---------------------|---------------------|
| BUILDING FOOTPRINT: | 6,281 SF |
| PARKING AREA: | 14,222 SF 31 STALLS |
| MISCELLANEOUS AREA: | 5,525 SF |
| TOTAL SITE AREA: | 26,028 SF |



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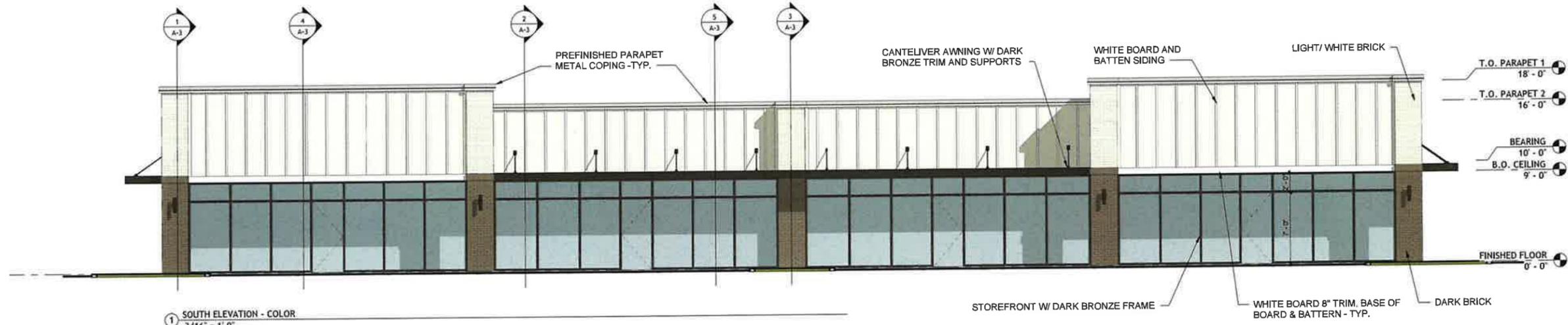
Building Type:
STEEL FRAME ON CONCRETE SLAB

Drawing Title:
Site Plan

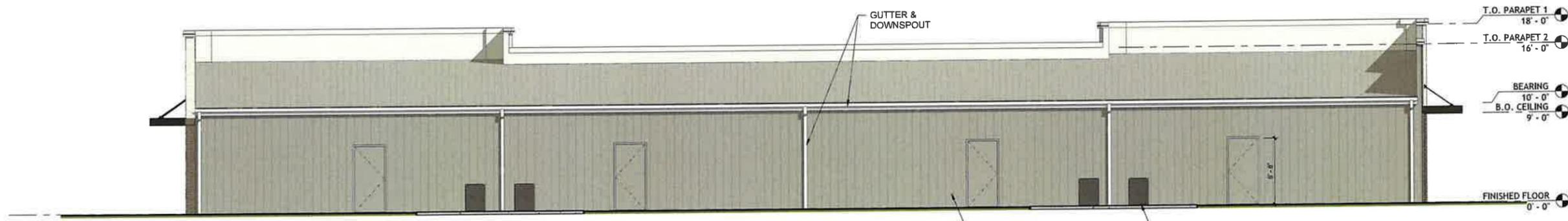
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| Date: | Dim | Author |
| 10/31/25 | Ckd | Checker |

Drawing Number:
X-1

Revisions:



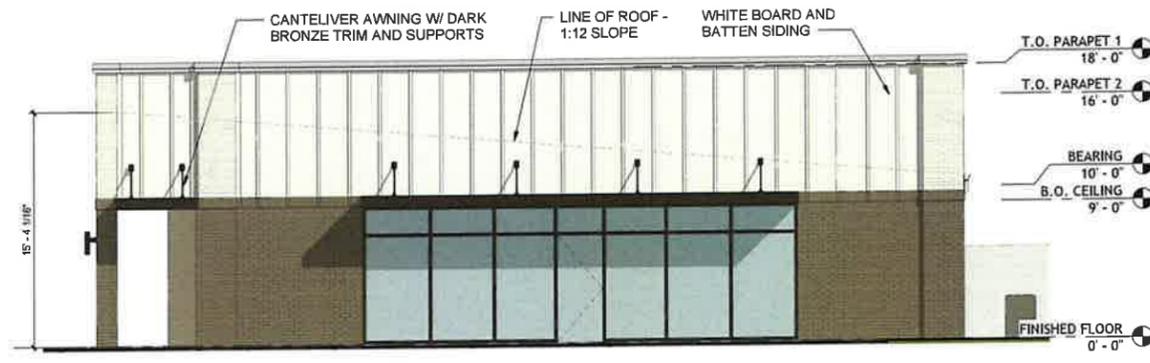
1 SOUTH ELEVATION - COLOR
3/16" = 1'-0"



2 NORTH ELEVATION - COLOR
3/16" = 1'-0"



3 WEST ELEVATION - COLOR
3/16" = 1'-0"



4 EAST ELEVATION - COLOR
3/16" = 1'-0"

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Site:
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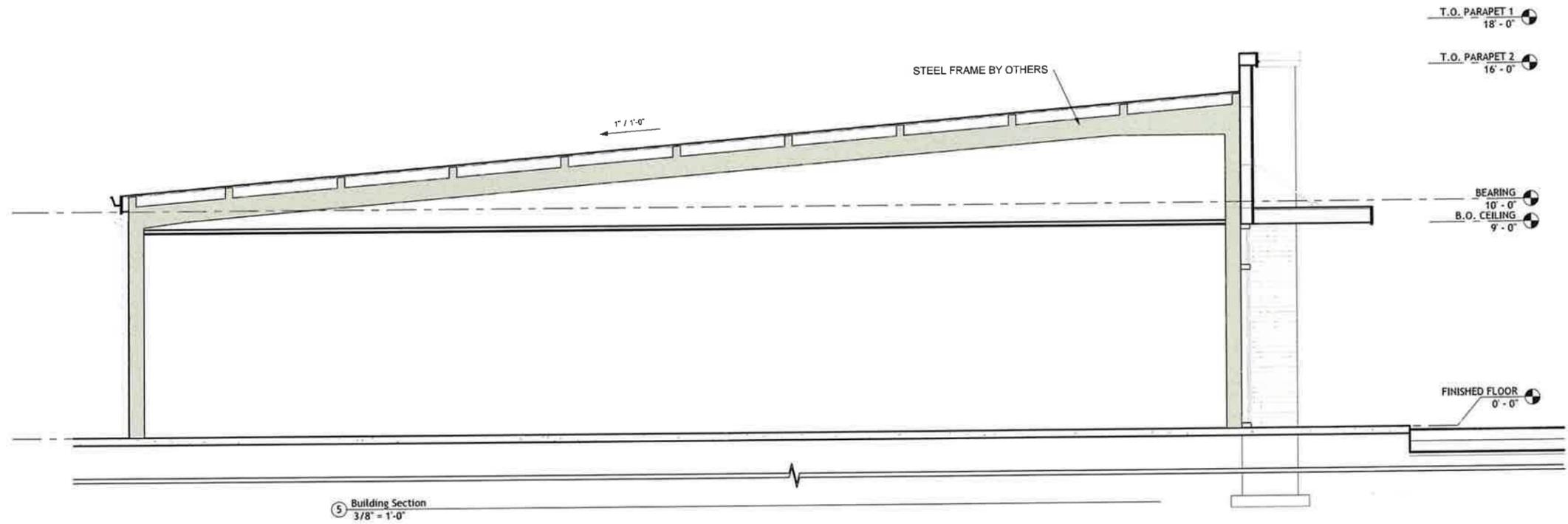
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 STEEL FRAME ON CONCRETE SLAB

Drawing Title:
 Architectural Color Elevations

Date: 10/31/25 Dm: DWS
 Ckd: MDP

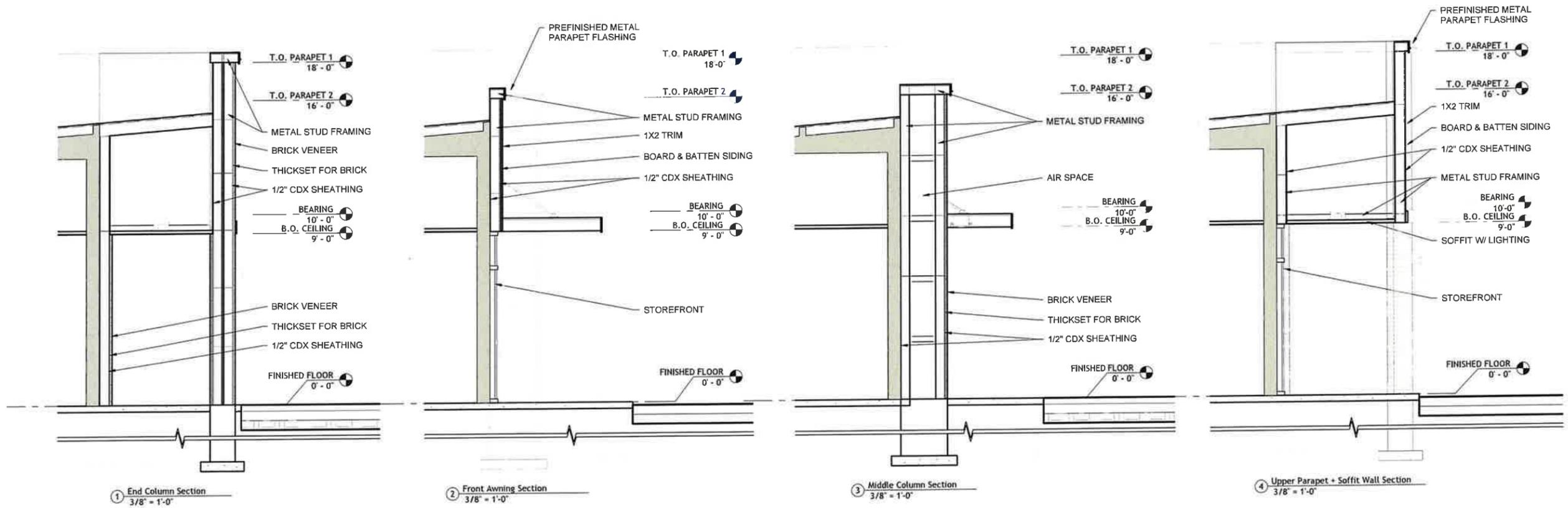
Drawing Number:
A-2

Revisions:



5 Building Section
3/8" = 1'-0"

PRELIMINARY



1 End Column Section
3/8" = 1'-0"

2 Front Awning Section
3/8" = 1'-0"

3 Middle Column Section
3/8" = 1'-0"

4 Upper Parapet + Soffit Wall Section
3/8" = 1'-0"

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Site:
Gulf Shores Pkwy, Gulf Shores AL, 36542

Building Type:
STEEL FRAME ON CONCRETE SLAB

Drawing Title:
Building Sections

Date: 10/31/25 Dm: Author
Ckd: Checker

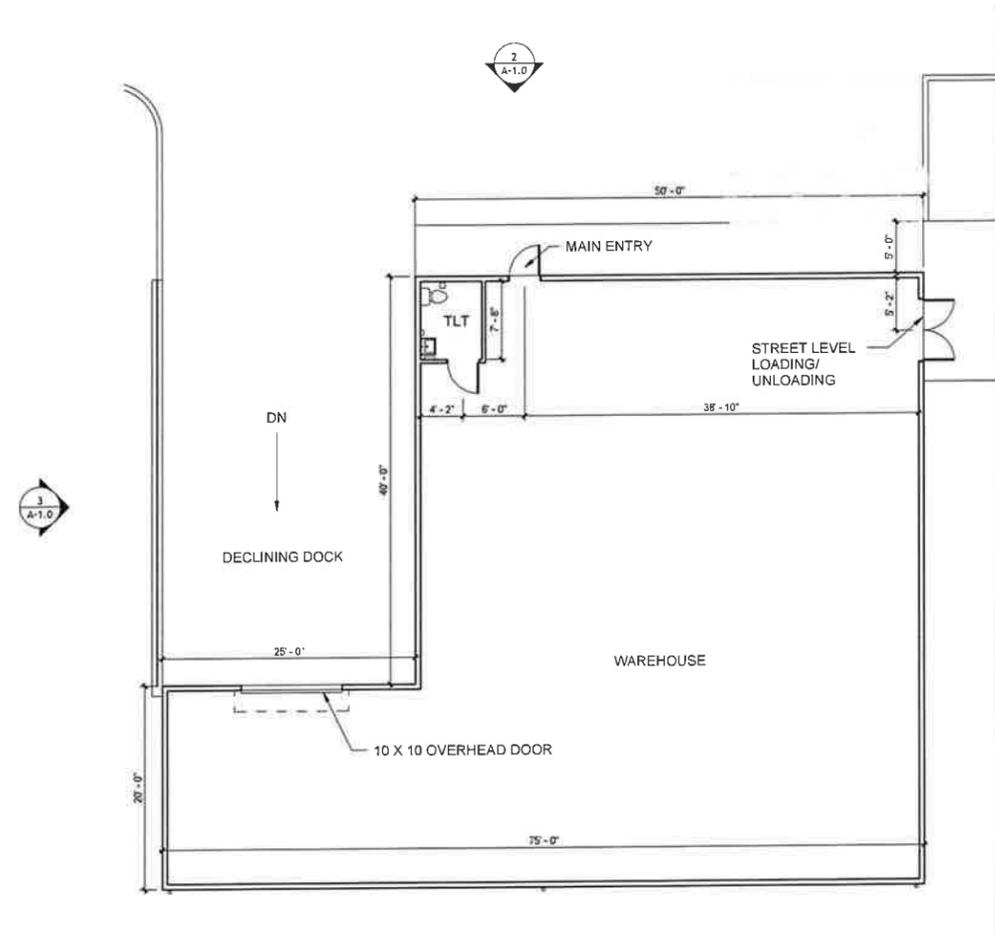
Drawing Number:
A-3

Revisions

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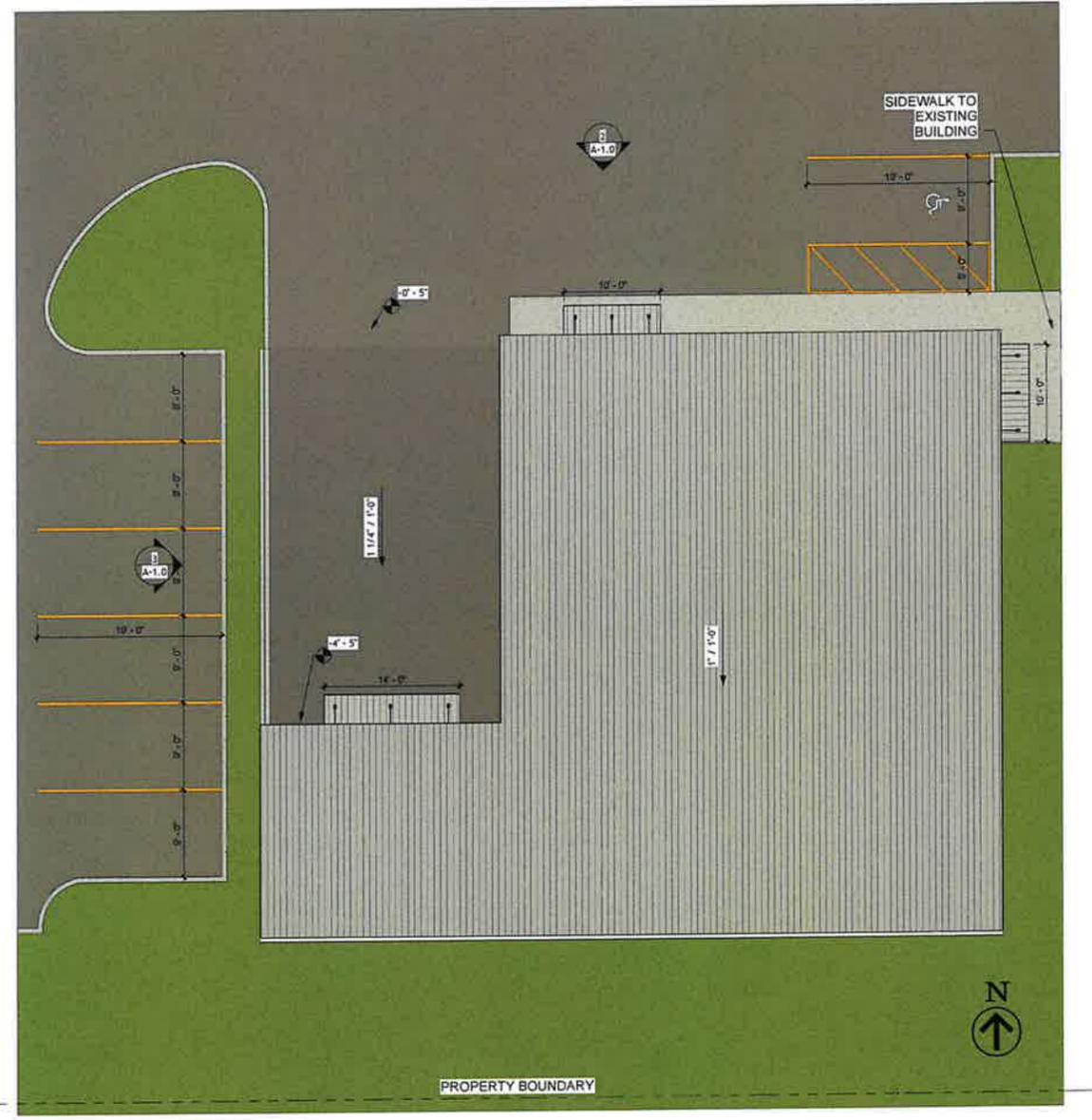


NOTE: NORTH, EAST, AND WEST ELEVATIONS TO HAVE BOARD & BATTEN SIDING
SOUTH ELEVATION TO HAVE METAL SIDING.



4 Floor Plan
1/8" = 1'-0"

3,500 SF BUILDING FOOTPRINT



1 Site Plan
1/8" = 1'-0"

Royal Standard - Warehouse
Gulf Shores Pkwy, Gulf Shores AL, 36542

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Site:
Gulf Shores Pkwy, Gulf Shores AL, 36542

Building Type:
WOOD FRAME ON CONCRETE SLAB

Drawing Title:
Preliminary Warehouse Plans & Elevations

Date: 02/11/2025
Dm: DWS
Ckd: MDP

Drawing Number:
A-1.0

Revisions:

Osprey Landing Subd. Ph. 4– Preliminary Plat Extension

Staff Report: Andy Bauer
Application #:ZA26-000020

Planning Commission Meeting Date: February 24, 2026
Applicant: Ercil Godwin, Property Location: Osprey Landing Subdivision on
Sawgrass Consulting Coastal Gateway Blvd.

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

SUMMARY OF REQUEST

The applicant seeks a one-year Preliminary Subdivision Plat Extension for Osprey Landing Phase 4 Subdivision. The Planning Commission granted Preliminary Subdivision Plat approval for this subdivision on March 26, 2024, to subdivide 14.68 acres into 42 lots. A Preliminary Subdivision Plat expires two years from the date of approval. The property is located on the south side of Coastal Gateway Boulevard directly West of Osprey Landing Subdivision Phases 2 & 3.

PUBLIC NOTICE

The subdivision extension application was notified as required by the Subdivision Regulations.

APPROVED OSPREY LANDING PHASE 4 SUBDIVISION PLAN

- 14.68 acres
- 42 lots
- Lots sizes – 8,347sf to 12,464sf
- Proposed density – 2.8 units per acre
- Setbacks – Front 40', Rear 30', Side 10',
- Minimum Lot Width – 60'
- Open Space 3.81 acres (25%)

ANALYSIS

Subdivision Regulations – Section 4-4 Preliminary Plat Extension

Section 4-4., Preliminary Plat Approval Procedure in the Subdivision Regulations provides a two-year period from the date of Preliminary Plat Approval for an applicant to obtain Final Subdivision Plat approval. Osprey Landing Phase 4 Subdivision received Preliminary Plat approval March 26, 2024, and in accordance with the Subdivision Regulations, must have Final Subdivision Plat approval by March 26, 2026.

The Subdivision Regulations allow the Planning Commission to extend the approval of a Preliminary Subdivision Plat a single time for a period not to exceed one (1) additional year unless changes have occurred to the Subdivision Regulations, the Zoning Ordinance, or Zoning Map, which would make the approved Subdivision nonconforming. At the July 2025 Planning Commission meeting, the commission approved an amendment to the minimum street construction standards in the Subdivision Regulations. Staff has included conditions in the recommendation to require the streets within Phase 4 to comply with the new street construction standards to the greatest extent possible.

RECOMMENDATION

Staff recommend the Planning Commission grant a one-year extension for Osprey Landing Phase 4 Preliminary Subdivision with the following conditions:

1. \$4,500 application fee shall be paid prior to Final Subdivision Plat approval.
2. All concrete work and street striping within Osprey Landing Phase 4 performed after February 24, 2026, shall comply with the standards within Section 6-3 B. 10. of the Subdivision Regulations (i.e., 4,000psi concrete and Class 2, Type A, thermoplastic).
3. Prior to Final Subdivision Plat approval, the following Engineering Department comments shall be addressed.
 - a. Remove midblock cross walk from Dawson Dr.
 - b. Stop/Sign Cross walk layout needs to abide by section 7C.04 of the MUTCD manual
 - c. Replace 4 inches of existing granular base with 4 inches of 825B or 301A-012 crushed aggregate compacted to 100% of the modified proctor.

MOTION FOR CONSIDERATION

I recommend approval of a one-year Preliminary Subdivision Plat extension for Osprey Landing Phase 4 with staff recommendations.

Attachments: Draft Resolution, Subdivision Plan, Location Maps

RESOLUTION ZA26-000020
Osprey Landing Phase 4
Preliminary Subdivision Plat Extension

Be it resolved by the Gulf Shores Planning Commission while in regular session on February 24, 2026, and by vote of 0-0, the Gulf Shores Planning Commission approves a one-year extension for Osprey Landing Phase 4 Preliminary Subdivision Plat with the following conditions.

1. \$4,500 application fee shall be paid prior to Final Subdivision Plat approval.
2. All concrete work and street striping within Osprey Landing Phase 4 performed after February 24, 2026, shall comply with the standards within Section 6-3 B. 10. of the Subdivision Regulations (4,000psi concrete and Class 2, Type A, thermoplastic).
3. Prior to Final Subdivision Plat approval, the following Engineering Department comments shall be addressed.
 - a. Remove midblock cross walk from Dawson Dr.
 - b. Stop/Sign Cross walk layout needs to abide by section 7C.04 of the MUTCD manual
 - c. Replace 4 inches of existing granular base with 4 inches of 825B or 301A-012 crushed aggregate compacted to 100% of the modified proctor.

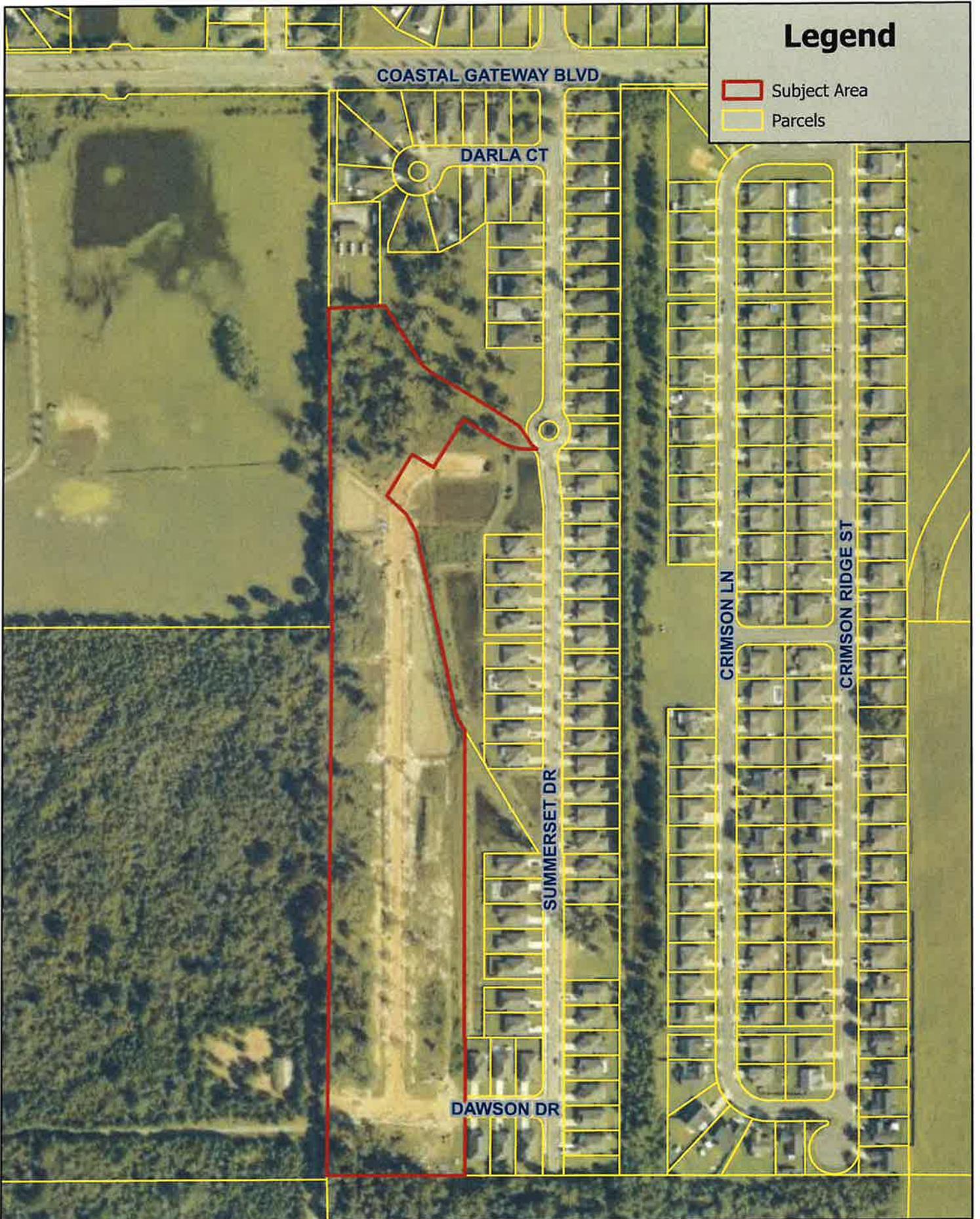
This resolution shall become effective upon its adoption.

ADOPTED this 24th day of February 2026.

Pete Vakakes
Chairman, Planning Commission

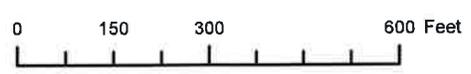
Attest:

Mell Davis
Secretary, Planning Commission



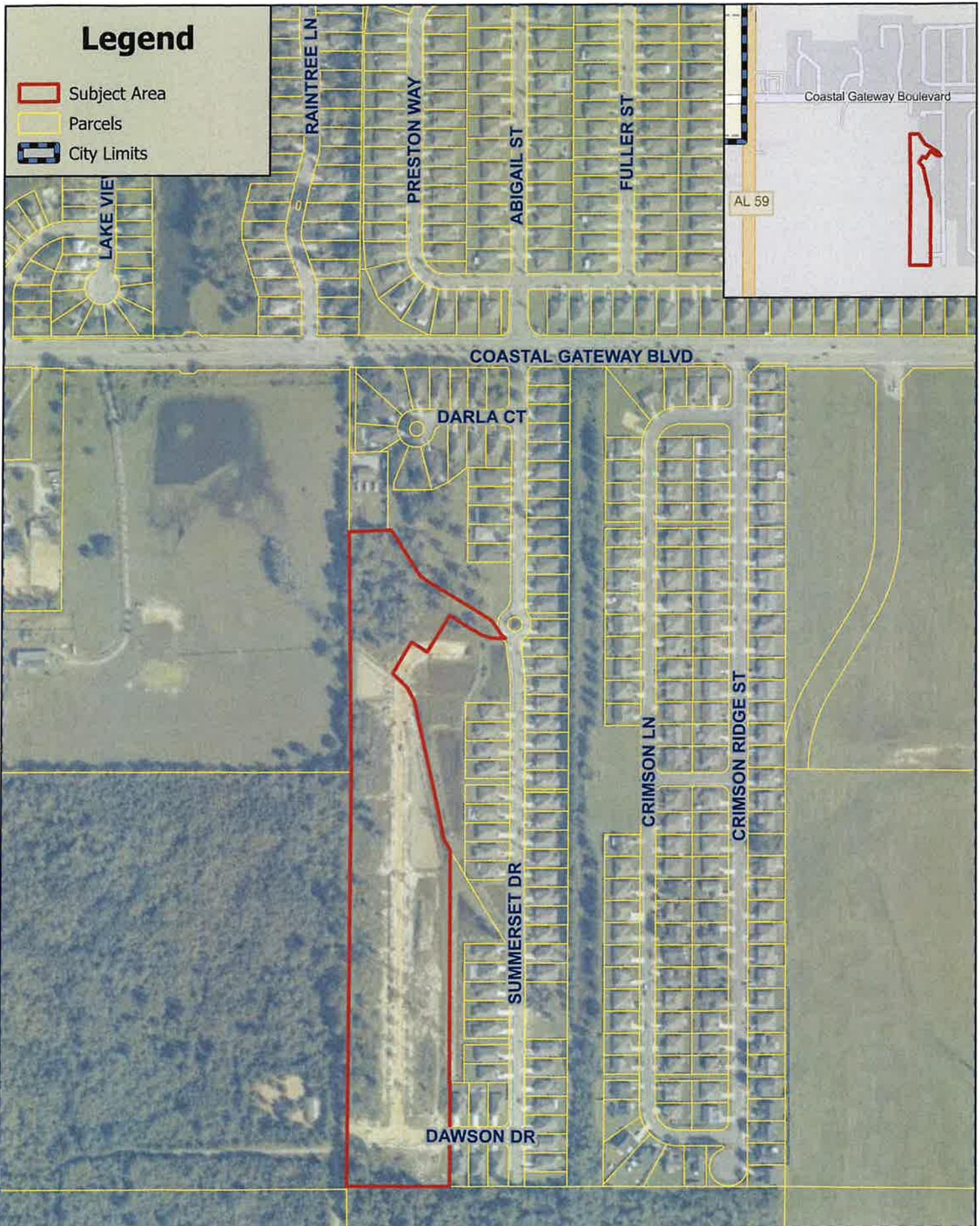
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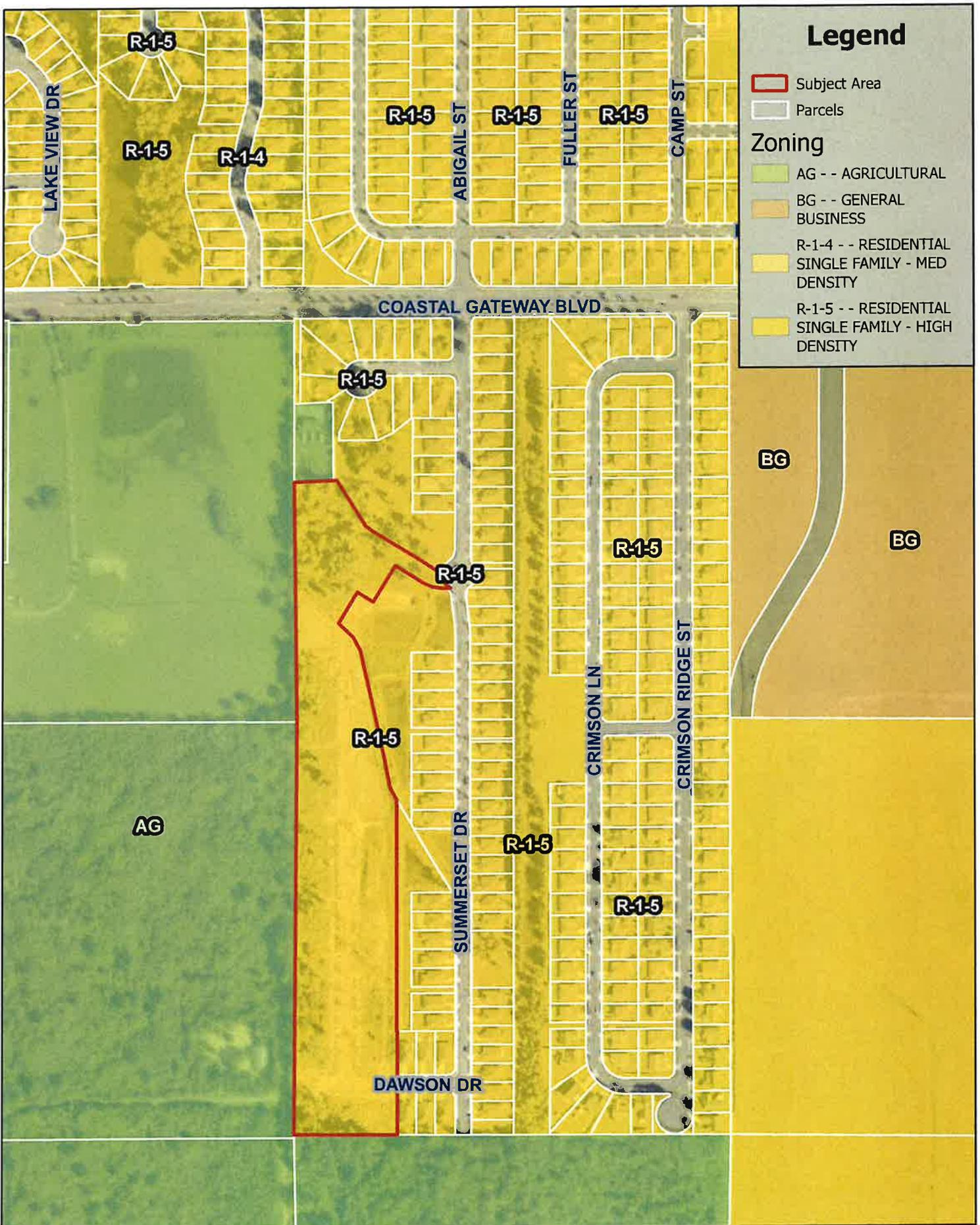
- Subject Area
- Parcels



Legend

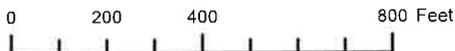
-  Subject Area
-  Parcels
-  City Limits

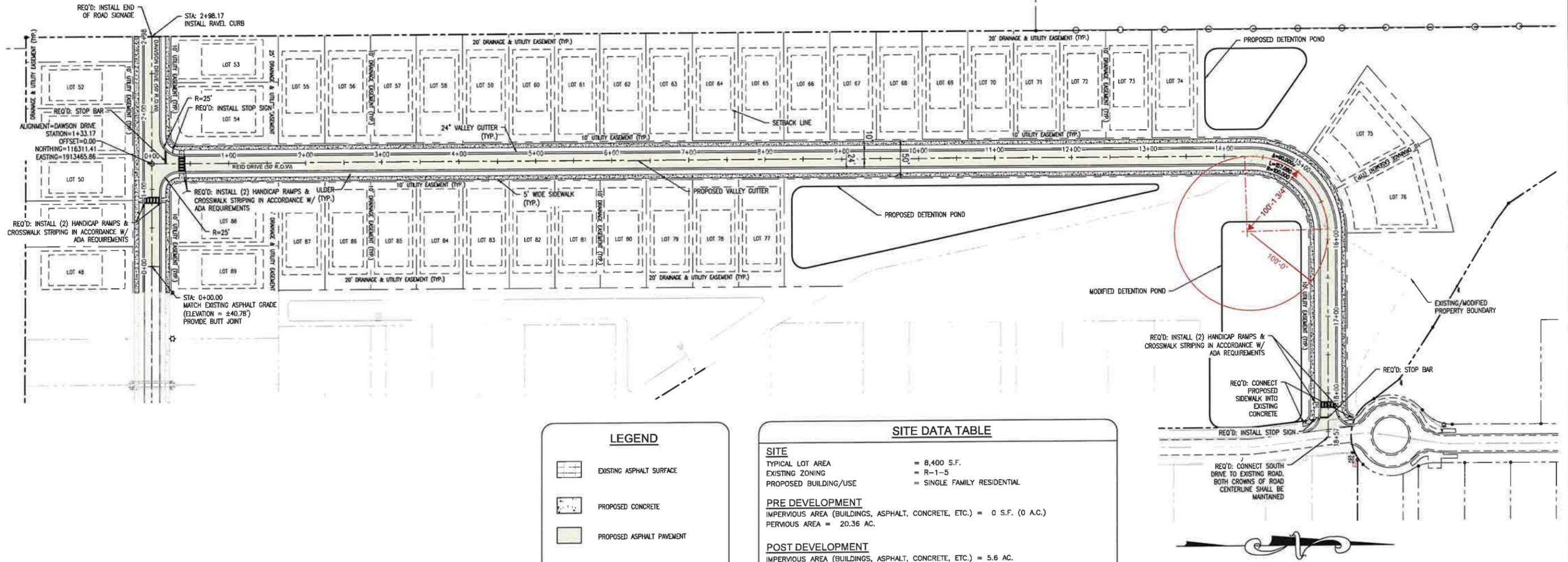




Legend

- Subject Area
 - Parcels
- Zoning**
- AG -- AGRICULTURAL
 - BG -- GENERAL BUSINESS
 - R-1-4 -- RESIDENTIAL SINGLE FAMILY - MED DENSITY
 - R-1-5 -- RESIDENTIAL SINGLE FAMILY - HIGH DENSITY





LEGEND

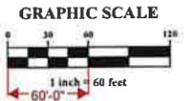
| | |
|--|---------------------------|
| | EXISTING ASPHALT SURFACE |
| | PROPOSED CONCRETE |
| | PROPOSED ASPHALT PAVEMENT |
| | PROPERTY BOUNDARIES |

SITE DATA TABLE

| | |
|--|-----------------------------|
| SITE | |
| TYPICAL LOT AREA | = 8,400 S.F. |
| EXISTING ZONING | = R-1-5 |
| PROPOSED BUILDING/USE | = SINGLE FAMILY RESIDENTIAL |
| PRE DEVELOPMENT | |
| IMPERVIOUS AREA (BUILDINGS, ASPHALT, CONCRETE, ETC.) | = 0 S.F. (0 A.C.) |
| PERVIOUS AREA | = 20.36 AC. |
| POST DEVELOPMENT | |
| IMPERVIOUS AREA (BUILDINGS, ASPHALT, CONCRETE, ETC.) | = 5.6 AC. |
| PERVIOUS AREA | = 14.76 AC. |
| SETBACKS | |
| FRONT | = 40' |
| SIDE | = 10' |
| REAR | = 30' |

ENGINEER: SAWGRASS CONSULTING, LLC.
(251) 544-7900 (OFFICE)

| | | |
|---------|-----------|-------|
| NUMBER: | REVISION: | DATE: |
| | | |
| | | |



Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boob" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900

OVERALL SITE PLAN
OSPREY PHASE IV
E&T ENTERPRISES, LLC.



| | |
|-------------|------------|
| SCALE | 1:60 |
| DATE | MARCH 2024 |
| DRAWN BY: | EI |
| CHECKED BY: | TL |
| SHEET: | 4 OF 23 |

Colonial Traditions Lot 7 – Final Plat

Staff Report: Andy Bauer
Application #:ZA26-000007

Planning Commission Meeting Date: February 24, 2026
Applicant: Dewberry
Engineers
Property Location: Colonial Traditions PUD

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

SUMMARY OF REQUEST

The applicant seeks Final Subdivision Plat approval to split Lot 7 into two lots. The property is in the middle of Traditions Way and is zoned General Business with a PUD Overlay.

EXISTING CONDITIONS AND SURROUNDING CONTEXT

The property is currently vacant wooded. The surrounding zoning districts and land uses are as follows:

- North – General Business –PUD Overlay / Vacant land part of Colonial Traditions PUD
- South – General Business –PUD Overlay / Colonial Traditions Clubhouse & Amenities
- East – General Business – PUD Overlay / Townhouses (under construction) & Vacant Land
- West – General Business –PUD Overlay / Vacant Land

BACKGROUND

Development Timeline

- **2006** – The Planning Commission granted Preliminary and Final Subdivision Plat approval to subdivide 188 acres into eight lots.
- **2007** – Lots 3-8 of Colonial Traditions Subdivision were rezoned from BG-General Business to BG/Planned Unit Development (PUD) Overlay, and a PUD Master Plan was approved. The Master Plan for the 121-acre development identified a mixture of single-family and multi-family residential uses and building types, with a maximum of 1,208 units. The PUD overlay reduced density from 20 units per acre allowed by the BG Zoning District to 10 units per acre.
- **2008** – The PUD was amended to include lots 1 & 2 of Colonial Traditions Subdivision. Lots 1 & 2 are two commercial lots with frontage along Alabama State Highway 59.
- **2016** – The City Council re-activated the Colonial Traditions PUD.
- **2020 to 2021** - The Planning Commission granted Preliminary and Final Subdivision Plat approval for a 20-lot single-family subdivision on Lot 6 of the Colonial Traditions PUD (Phase 1).
- **2021 to 2022** – The Planning Commission granted Preliminary and Final Subdivision Plat approval for a 50-lot single-family subdivision on a portion of Lot 3 of Colonial Traditions PUD (Phase 2).
- **March 10, 2025** - The City Council approved a Major Planned Unit Development (PUD) Amendment on Lot 7 of Colonial Traditions PUD for 106, single-family attached and detached units on 18.40 acres.
- **November 6, 2025** – City staff, in accordance with Article 15-6., H. Amendments, of the Zoning Ordinance approved a Minor PUD Amendment affecting Lot 7 of Colonial Traditions PUD. The amendment will allow Lot 7 to consist of 87 single-family attached and detached units (38 townhomes and 49 single family homes) on 18.40 acres and authorize the project to be completed and platted in two phases.

PUBLIC NOTIFICATION

This application was advertised as required by Section 4-2 of the Subdivision Regulations. As of the date of the writing of the staff report, staff have received correspondence from numerous citizens. The citizens have questions and concerns about the state of the infrastructure, emergency access, and utilities.

ZONING

Colonial Traditions PUD Master Plan indicates Lot 7 is designated for single family uses. The adopted Land Development Handbook allows Lot 7 to be developed with townhomes, courtyard lots, and cottage

lots. The overall development is not allowed to exceed 10 units per acre with each phase not exceeding 20 units per acre.

PROPOSED SUBDIVISION PLAN

According to the applicant, the purpose of the subdivision is to divide Lot 7 into two lots so each lot may be sold and developed. The subdivision is classified as a Minor Subdivision, because the proposed subdivision fronts on existing improved streets and does not require the installation of new streets, utilities or other public improvements. Specifics of the proposed subdivision are as follows:

- Zoning: BG/PUD Overlay
- Total Land Area: 18.39 acres
- Proposed Number of Lots: 2 Lots
- Largest Lot: 10.63 acres
- Smallest Lot: 7.76 acres

ANALYSIS

Subdivision Regulations: The subdivision complies with the Minor Plat standards set forth in the Subdivision Regulations.

Department and Agency Reviews:

The Fire Marshal and Engineering Department have reviewed and approved the plat.

RECOMMENDATION

Staff recommends approval of the Final Subdivision Plat with the following condition:

1. The roadway labeled Colony Circle on the plat shall be changed to "Traditions Way" prior to recordation of the plat.

MOTION FOR CONSIDERATION

I make a motion to approve Lot 7 Final Subdivision Plat with staff recommendations.

Attachments: Plans, Draft Resolution

RESOLUTION ZA26-000007
Lot 7 Colonial Traditions Subdivision: Final Plat

THEREFORE, BE RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF GULF SHORES, ALABAMA, WHILE IN REGULAR SESSION ON FEBRUARY 24, 2026, as follows:

By a vote of 0-0, the Gulf Shores Planning Commission approved the request for the final plat to subdivide one lot into two lots with the following conditions:

1. The roadway labeled Colony Circle on the plat shall be changed to “Traditions Way” prior to recordation of the plat.

This Resolution shall become effective upon its adoption.

ADOPTED this 24th day of February 2026.

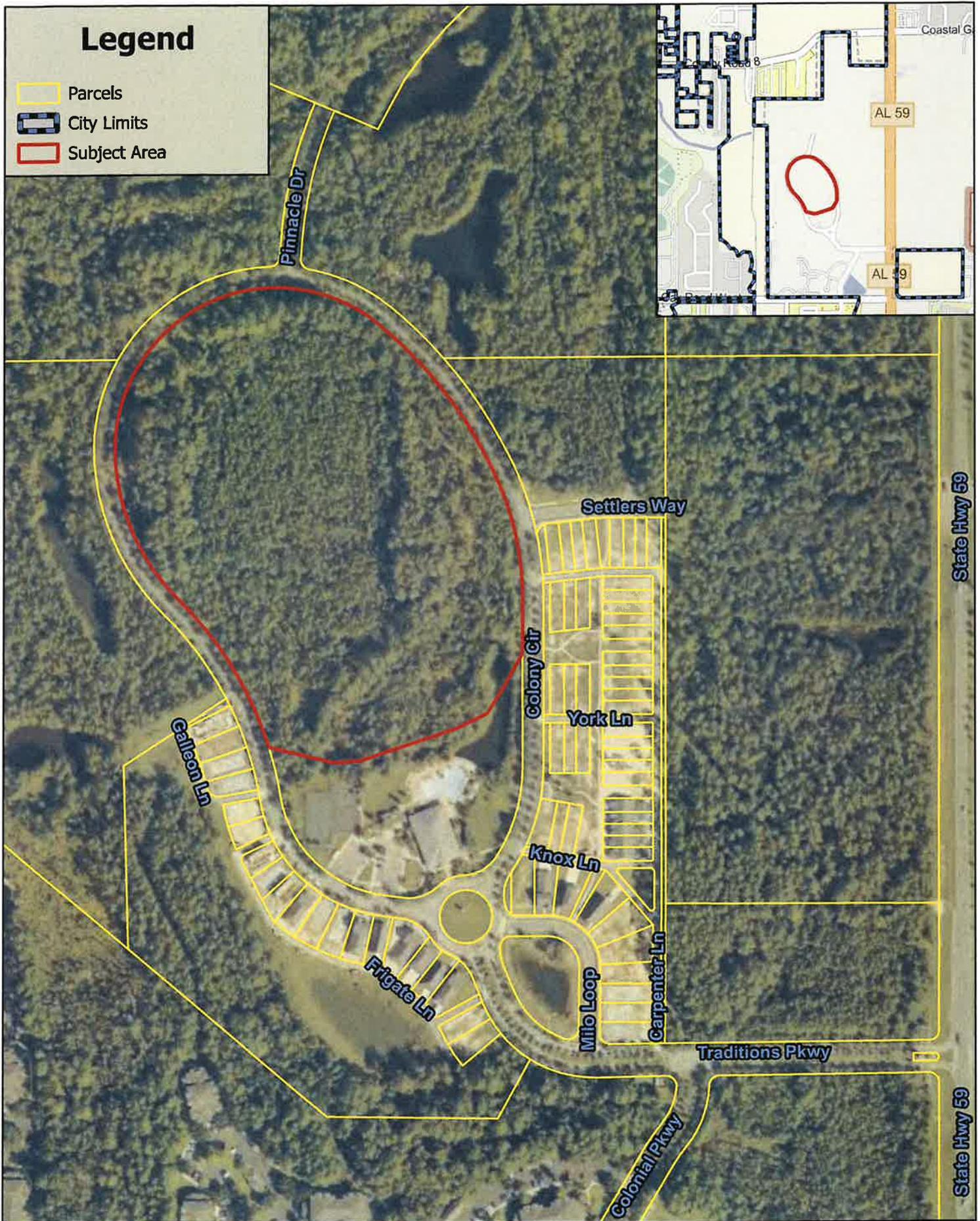
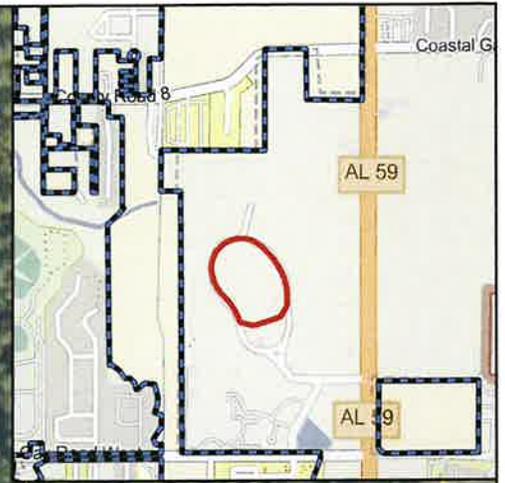
Pete Vakakes
Chairman, Planning Commission

Attest:

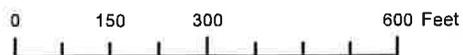
Mell Davis
Secretary, Planning Commission

Legend

-  Parcels
-  City Limits
-  Subject Area

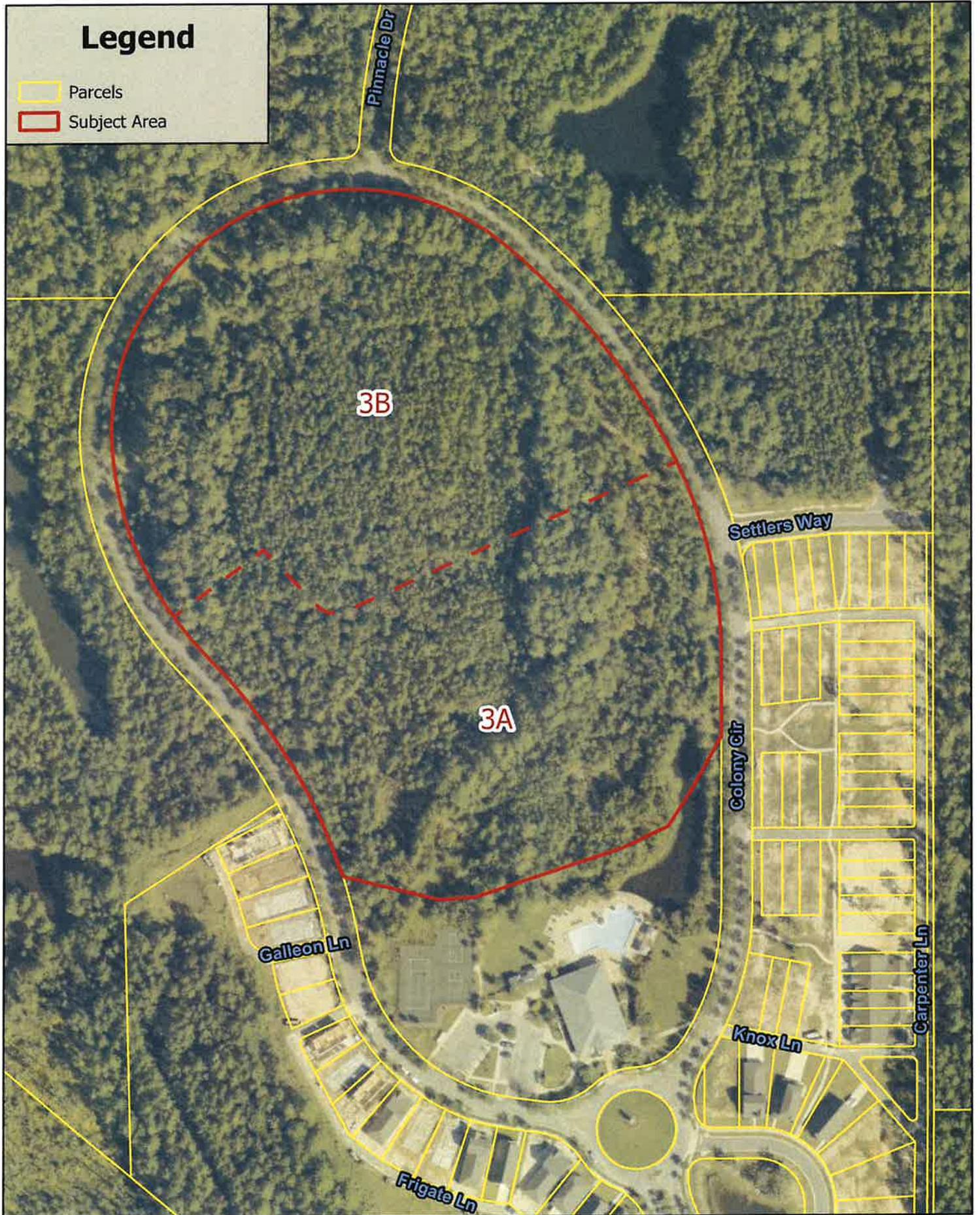


Colonial Traditions Ph 3A Preliminary Plat
Overview Map
ZA25-000062 - January 27, 2026

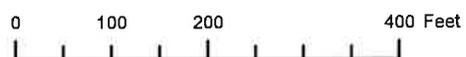


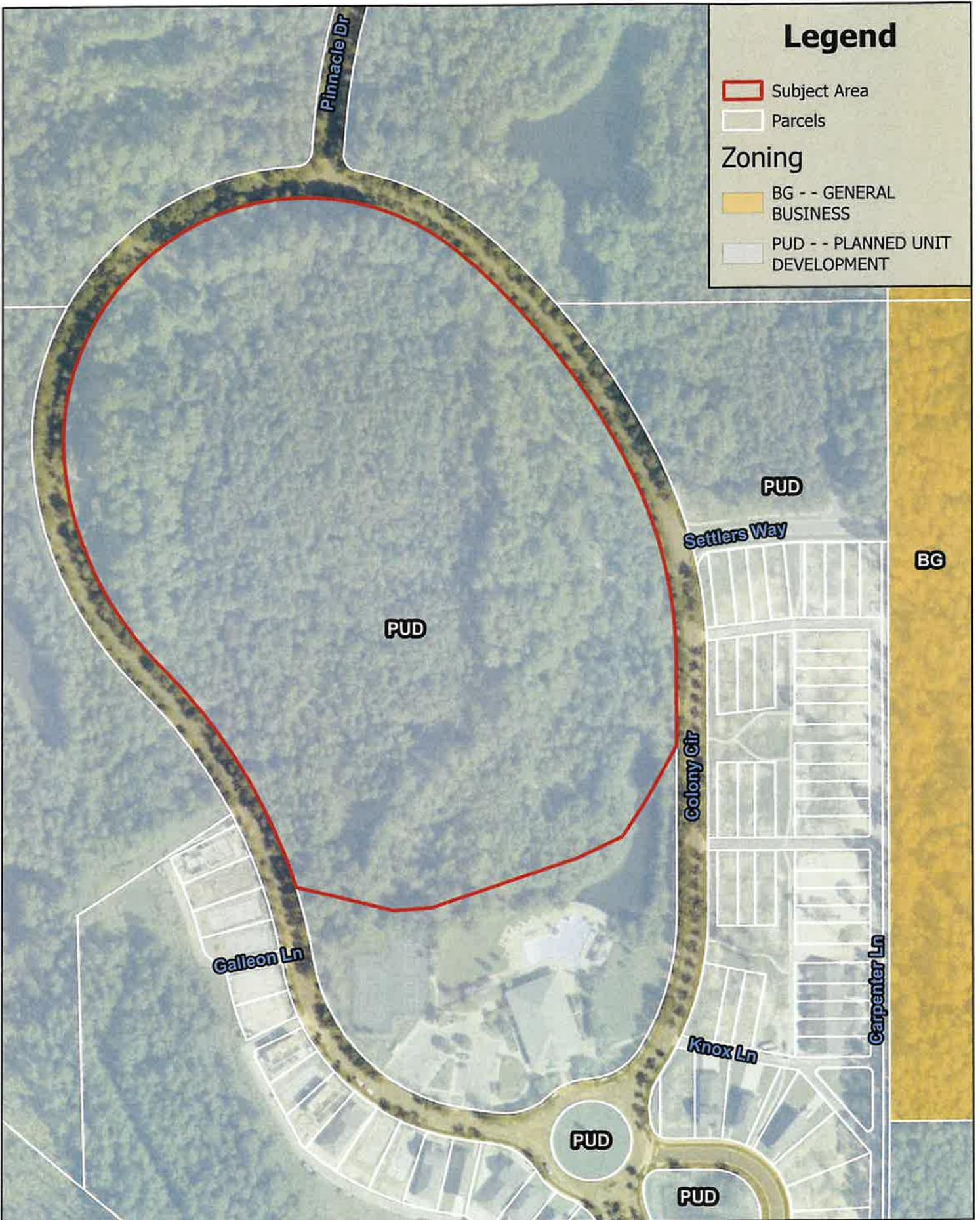
Legend

- Parcels
- Subject Area

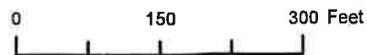


Colonial Traditions Ph 3A Preliminary Plat
Location Map - 2025 Aerials
ZA25-0000062 - January 27, 2026





Colonial Traditions Ph 3A Preliminary Plat
 Zoning Districts Map
 ZA25-000062 - January 27, 2026



SITE DATA:
 CURRENT ZONING: PUD
 LIN. FT. STREETS: 0 LF
 NUMBER OF LOTS: 2
 TOTAL AREA: 18.39 AC±

SETBACKS:
 FRONT: 10'
 REAR: 5'
 SIDE: 5' (10' STREET)

DEVELOPER/OWNER:
 DILWORTH DEVELOPMENT, INC.
 2124 MOORES MILL RD.
 AUBURN, AL 36830
 PARCEL #05-61-09-29-4-001-002.008
 (INS #1969174)

SURVEYOR/ENGINEER:
 DEWBERRY
 25353 FRIENDSHIP RD,
 DAPHNE, AL 36526
 VICTOR L. GERMAIN, PLS #38473
 JASON N. ESTES, PE #22714

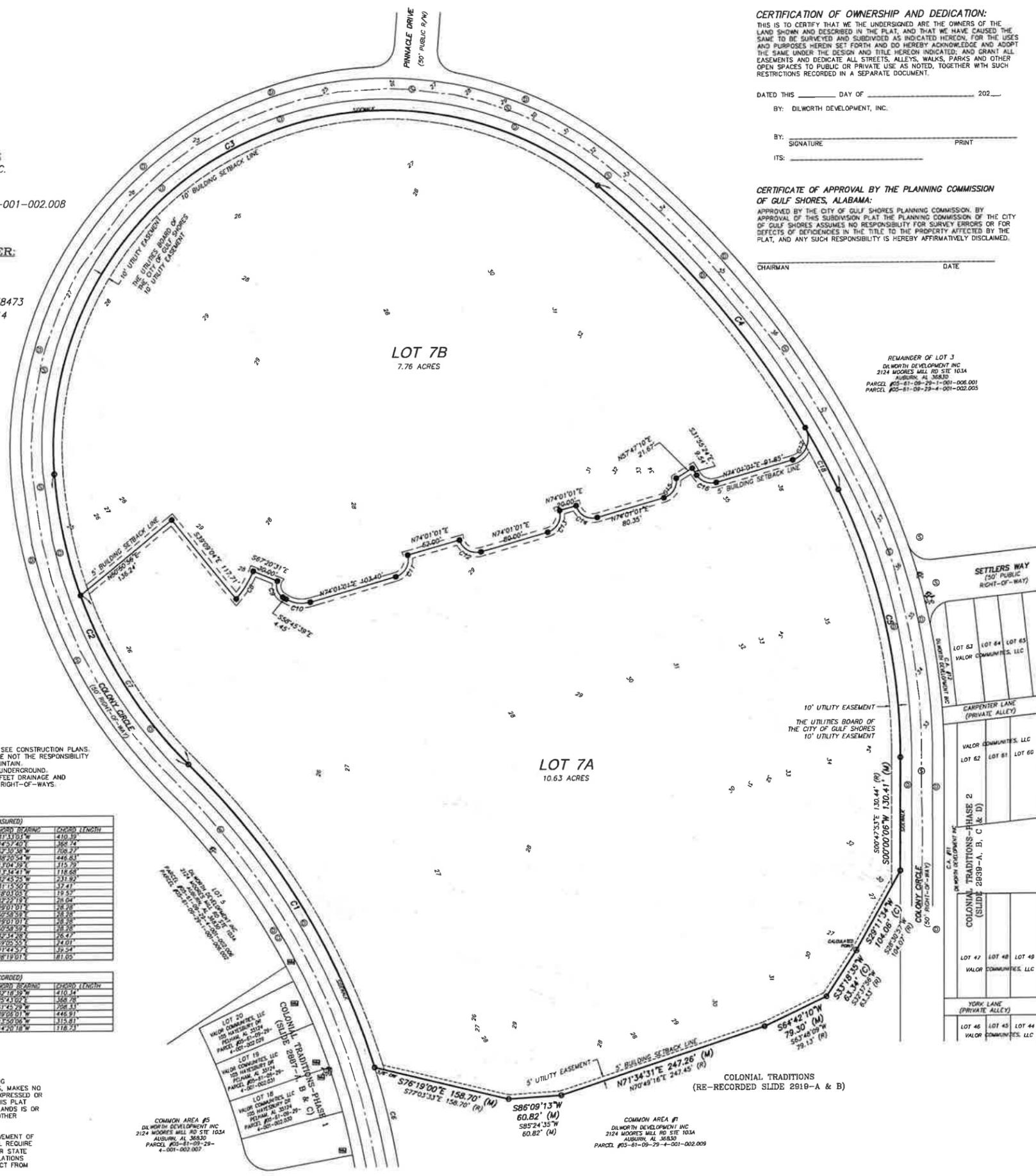
GENERAL NOTES:
 1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
 2. STORMWATER MANAGEMENT AREAS ARE NOT THE RESPONSIBILITY OF THE CITY OF GULF SHORES TO MAINTAIN.
 3. ALL UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
 4. THERE IS DEDICATED HERewith A 10 FEET DRAINAGE AND UTILITY EASEMENT ADJACENT TO THE RIGHT-OF-WAYS.

| CURVE TABLE (MEASURED) | | | |
|------------------------|-----------|------------|---------------|
| CURVE | CHORD | ARC LENGTH | CHORD BEARING |
| C1 | 850.00' | 414.44' | N11°31'01"W |
| C2 | 1325.00' | 678.77' | S25°25'42"E |
| C3 | 1053.00' | 490.24' | N8°20'54"W |
| C4 | 1053.00' | 490.24' | N8°20'54"W |
| C5 | 200.00' | 118.83' | S13°04'57"E |
| C6 | 185.00' | 116.20' | N13°04'41"W |
| C7 | 575.00' | 211.85' | N17°45'25"W |
| C8 | 125.00' | 57.25' | N11°15'50"E |
| C9 | 15.00' | 7.17' | S10°01'02"E |
| C10 | 15.00' | 7.85' | S88°22'19"E |
| C11 | 20.00' | 11.42' | N29°01'01"E |
| C12 | 20.00' | 11.42' | N29°01'01"E |
| C13 | 20.00' | 11.42' | N29°01'01"E |
| C14 | 20.00' | 11.42' | N29°01'01"E |
| C15 | 20.00' | 11.42' | N29°01'01"E |
| C16 | 20.00' | 11.42' | N29°01'01"E |
| C17 | 25.00' | 14.61' | N07°44'57"E |
| C18 | 11655.00' | 81.07' | S28°19'01"E |

| CURVE TABLE (RECORDED) | | | |
|------------------------|-----------|------------|---------------|
| CURVE | CHORD | ARC LENGTH | CHORD BEARING |
| C1 | 850.00' | 414.44' | N11°31'01"W |
| C2 | 1325.00' | 678.77' | S25°25'42"E |
| C3 | 1053.00' | 490.24' | N8°20'54"W |
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| C10 | 15.00' | 7.85' | S88°22'19"E |
| C11 | 20.00' | 11.42' | N29°01'01"E |
| C12 | 20.00' | 11.42' | N29°01'01"E |
| C13 | 20.00' | 11.42' | N29°01'01"E |
| C14 | 20.00' | 11.42' | N29°01'01"E |
| C15 | 20.00' | 11.42' | N29°01'01"E |
| C16 | 20.00' | 11.42' | N29°01'01"E |
| C17 | 25.00' | 14.61' | N07°44'57"E |
| C18 | 11655.00' | 81.07' | S28°19'01"E |

WETLAND NOTICE
 BY APPROVAL OF THIS PLAT, THE PLANNING COMMISSION OF THE CITY OF GULF SHORES MAKES NO REPRESENTATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED, THAT ANY LOT DELINEATED ON THIS PLAT WHICH MAY BE ENCUMBERED BY ANY WETLANDS IS OR WILL BE SUITABLE FOR IMPROVEMENT OR OTHER DEVELOPMENT.

PURCHASERS ARE ON NOTICE THAT IMPROVEMENT OF PROPERTY ENCUMBERED BY WETLANDS WILL REQUIRE SEPARATE PERMITTING BY FEDERAL AND/OR STATE AUTHORITIES UNDER SUCH LAW AND REGULATIONS GOVERNING WETLANDS AS MAY BE IN EFFECT FROM TIME TO TIME.



CERTIFICATION OF OWNERSHIP AND DEDICATION:
 THIS IS TO CERTIFY THAT WE, THE UNDERSIGNED ARE THE OWNERS OF THE LAND SHOWN AND DESCRIBED IN THE PLAT, AND THAT WE HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED, AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS RECORDED IN A SEPARATE DOCUMENT.

DATED THIS _____ DAY OF _____, 202____
 BY: DILWORTH DEVELOPMENT, INC.

BY: _____ PRINT _____
 ITS: _____

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION OF GULF SHORES, ALABAMA:
 APPROVED BY THE CITY OF GULF SHORES PLANNING COMMISSION, BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING COMMISSION OF THE CITY OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

CHAIRMAN _____ DATE _____

ACKNOWLEDGEMENT OF NOTARY PUBLIC:
 STATE OF ALABAMA,
 COUNTY OF BALDWIN:

I, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT _____ WHOSE NAME AS _____ OF DILWORTH DEVELOPMENT, INC. IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND WITH AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR SAID COMPANY.
 GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 202____

MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL BY THE PLANNING DIRECTOR OF GULF SHORES, ALABAMA:
 APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING DIRECTOR OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

PLANNING DIRECTOR _____ DATE _____

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER OF GULF SHORES, ALABAMA:
 APPROVED BY THE CITY ENGINEER OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE CITY ENGINEER OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

CITY ENGINEER _____ DATE _____

CERTIFICATE OF APPROVAL BY THE COORDINATOR OF COMMUNITY DEVELOPMENT OF THE CITY OF GULF SHORES, ALABAMA:
 APPROVED BY THE COORDINATOR OF COMMUNITY DEVELOPMENT, BY APPROVAL OF THIS SUBDIVISION PLAT THE COORDINATOR OF COMMUNITY DEVELOPMENT OF THE CITY OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

AUTHORIZED REPRESENTATIVE _____ DATE _____

CERTIFICATION BY GULF SHORES UTILITIES:
 THE UTILITIES BOARD OF THE CITY OF GULF SHORES HEREBY CERTIFIES THAT, AS OF THE DATE OF THIS CERTIFICATION, POTABLE WATER SERVICE (S/S NOT AVAILABLE) AND SANITARY SEWER SERVICE (S/S NOT AVAILABLE) TO THE INDIVIDUAL LOTS SHOWN IN THIS PLAT TAKEN AS A WHOLE, THE BOARD DOES NOT CERTIFY THAT THE INFRASTRUCTURE NECESSARY TO PROVIDE POTABLE WATER SERVICE AND SANITARY SEWER SERVICE TO THE INDIVIDUAL LOTS SHOWN IN THIS PLAT HAS BEEN INSTALLED AS OF THE DATE OF THIS CERTIFICATION OR WILL BE INSTALLED IN THE FUTURE. FURTHER, THE BOARD MAKES NO STATEMENT REGARDING AND ASSUMES NO RESPONSIBILITY FOR ANY PARTICULARS OF THIS PLAT NOT ASSOCIATED WITH PROVISIONS OF POTABLE WATER AND SANITARY SEWER SERVICE TO THE PROPERTY DESCRIBED BY THIS PLAT TAKEN AS A WHOLE AND HEREBY AFFIRMATIVELY DISCLAIMS ANY SUCH RESPONSIBILITY.

GENERAL MANAGER SIGNATURE _____ DATE _____

CERTIFICATE OF APPROVAL BY THE FIRE MARSHAL OF GULF SHORES, ALABAMA:
 APPROVED BY THE FIRE MARSHAL OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE FIRE MARSHAL OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

FIRE MARSHAL _____ DATE _____

CERTIFICATE OF APPROVAL BY BALDWIN EMC:
 THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS _____ DAY OF _____, 202____

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY E-911 GIS/ADDRESSING:
 THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE MAP WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

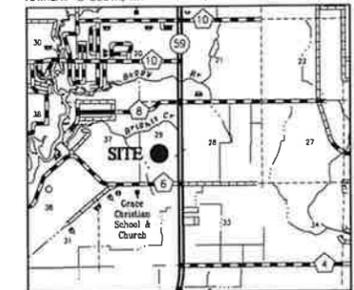
THIS _____ DAY OF _____, 202____

AUTHORIZED REPRESENTATIVE _____

AFFIDAVIT OF LICENSED PROFESSIONAL ENGINEER:
 I, JASON N. ESTES, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ALABAMA FOR DEWBERRY HOLDING LICENSE NUMBER 22714, HEREBY CERTIFY THAT I HAVE DESIGNED THE IMPROVEMENTS SHOWN ON THIS PLAT IN CONFORMANCE WITH APPLICABLE CODES AND LAWS, THE PRINCIPLES OF GOOD ENGINEERING PRACTICE, AND THE DRAINAGE DESIGN REQUIREMENTS OF THE CITY OF GULF SHORES OR BALDWIN COUNTY, AS APPLICABLE. I FURTHER CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTION AND FIND THAT IT CONFORMS TO THE DESIGNED IMPROVEMENTS SHOWN ON THIS PLAT.

JASON N. ESTES _____ DATE _____

PROPERTY IS LOCATED IN SECTION 29, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA.



- LEGEND:**
- CRF ○ = CAPPED REBAR FOUND (VOLKERT CA-0085-LS)
 - RBF ○ = REBAR FOUND
 - (M) = MEASURED BEARING AND DISTANCE
 - (R) = RECORDED BEARING AND DISTANCE
 - INS = INSTRUMENT
 - INV = INVERT
 - RCP = REINFORCED CONCRETE PIPE
 - BSL = BUILDING SETBACK LINE
 - SMH ○ = SEWER MANHOLE
 - DMH ○ = DRAINAGE MANHOLE
 - ⊙ = WATER METER
 - ⊕ = FIRE HYDRANT
 - ⊖ = WATER VALVE
 - S — = SEWER LINE
 - 30 — = EXISTING ELEVATION CONTOUR

FLOOD ZONE INFORMATION:
 THIS PROPERTY LIES WITHIN ZONE "X" (UNSHADED) AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS OF BALDWIN COUNTY, ALABAMA, MAP NUMBER 0100302020M, COMMUNITY NUMBER 015000, PANEL NUMBER 0100302020M, AND MAP NUMBER 0100302020M, COMMUNITY NUMBER 015000, PANEL NUMBER 0933, SUFFIX M, MAPS EFFECTIVE DATE APRIL 19, 2019.

- SURVEYOR'S NOTES:**
1. ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH ALABAMA STANDARDS.
 2. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
 3. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
 4. SURVEY WAS CONDUCTED IN NOVEMBER 9, 2025, AND IS RECORDED IN FIELD BOOK 310 PAGE 61 AND IN AN ELECTRONIC DATA FILE.
 5. BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSERS.
 6. BEARINGS SHOWN HEREON ARE REFERENCED TO STATE PLANE GRID COORDINATES, ALABAMA WEST ZONE 0102, NAD83 (2011).
 7. ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 83.
 8. ALL GPS OBSERVATIONS WERE TAKEN USING REAL TIME KINEMATIC GPS.
 9. THIS SURVEY IS BASED UPON MONUMENTATION FOUND IN PLACE AND DOES NOT PURPORT TO BE A RETRACEMENT AND REPRODUCTION OF THE ORIGINAL GOVERNMENT SURVEY.
 10. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
 11. IMPROVEMENTS MAYBE EXAGGERATED FOR CLARITY.
 12. SOURCE OF INFORMATION: SOUTH OAK TITLE BIRMINGHAM, LLC, TITLE COMMITMENT NUMBER PEL-25-10337, DATED OCTOBER 2, 2025, COLONIAL TRADITIONS, SLIDE 2382-D & E, RE-RECORDED IN SLIDE 2919-A & B; INSTRUMENT #1969174; COLONIAL TRADITIONS PHASE 1, SLIDE 2897-A, B & C; COLONIAL TRADITIONS PHASE 2, SLIDE 2939-A, B, C & D; PROBATE RECORDS, BALDWIN COUNTY, ALABAMA; BOUNDARY AND TOPOGRAPHIC SURVEY BY THIS FIRM, DATED 03/06/2025.

DESCRIPTION:
 LOT 7, ACCORDING TO THE SUBDIVISION PLAT OF COLONIAL TRADITIONS, AS RECORDED IN MAP SLIDE 2382-D THROUGH 2382-E, RE-RECORDED IN SLIDE 2919-A THROUGH 2919-B IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA
 (DESCRIPTION COMPOSED FROM PROBATE RECORDS AND FIELD SURVEY)

SURVEYOR'S CERTIFICATE:
 STATE OF ALABAMA
 COUNTY OF BALDWIN
 WE, DEWBERRY, A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF DAPHNE, ALABAMA, HEREBY STATE THAT THE ABOVE IS A CORRECT MAP OR PLAT OF THE DESCRIBED PROPERTY SITUATED IN BALDWIN COUNTY, ALABAMA.
 I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

VICTOR L. GERMAIN, AL PLS NO. 38473 DATE _____
 DEWBERRY
 SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.



COLONIAL TRADITIONS PHASE 3
 A RE-SUB OF LOT 7, COLONIAL TRADITIONS (SLIDE 2919-A & B)
 FINAL PLAT
 DECEMBER 4, 2025 - SHEET 1 OF 1

| BOUNDARY SURVEY & PLAT OF SUBDIVISION | | | | | |
|---------------------------------------|-------|-----------|--------|-----------------|--------|
| DESIGN | XXX | DRAWN | V.L.G. | CHKD. | V.L.G. |
| ENG | J.N.E | SURVEYOR | V.L.G. | PROJ MGR | C.C.B. |
| | | SCALE | | 1"=60' | |
| | | PROJ. NO. | | 50185608 | |
| | | FILE | | 50185608_PRELIM | |
| | | SHEET | | 1 OF 1 | |

Dewberry
 25353 Friendship Road Daphne, AL 36526
 251-990-9950 Fax 251-939-9815
 Certificate of Authorization No. 1109 LS

Colonial Traditions Ph. 3A Subdivision – Preliminary Plat

Staff Report: Andy Bauer
Application #: ZA25-000062

Planning Commission Meeting Date: February 24, 2026
Applicant: Dewberry
Engineers
Property Location: Colonial Traditions PUD

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

SUMMARY OF REQUEST

The applicant seeks Preliminary Subdivision Plat approval for a 43-lot single family subdivision on a portion of Lot 7 of Colonial Traditions Subdivision. The property is in the middle of Traditions Way and is zoned General Business with a PUD Overlay. This phase is named Phase 3A.

EXISTING CONDITIONS AND SURROUNDING CONTEXT

The property is currently vacant wooded. Traditions Way street was constructed in 2006 when the original subdivision was approved. Traditions Way has not been accepted by the City Council for maintenance. The surrounding zoning districts and land uses are as follows:

- North – General Business –PUD Overlay / Vacant land part of Colonial Traditions PUD
- South – General Business –PUD Overlay / Colonial Traditions Clubhouse & Amenities
- East – General Business – PUD Overlay / Townhouses (under construction) & Vacant Land
- West – General Business –PUD Overlay / Vacant Land

BACKGROUND

Development Timeline

- **2006** – The Planning Commission granted Preliminary and Final Subdivision Plat approval to subdivide 188 acres into eight lots.
- **2007** – Lots 3-8 of Colonial Traditions Subdivision were rezoned from BG-General Business to BG/Planned Unit Development (PUD) Overlay, and a PUD Master Plan was approved. The Master Plan for the 121-acre development identified a mixture of single-family and multi-family residential uses and building types, with a maximum of 1,208 units. The PUD overlay reduced density from 20 units per acre allowed by the BG Zoning District to 10 units per acre.
- **2008** – The PUD was amended to include lots 1 & 2 of Colonial Traditions Subdivision. Lots 1 & 2 are two commercial lots with frontage along Alabama State Highway 59.
- **2016** – The City Council re-activated the Colonial Traditions PUD.
- **2020 to 2021** - The Planning Commission granted Preliminary and Final Subdivision Plat approval for a 20-lot single-family subdivision on Lot 6 of the Colonial Traditions PUD (Phase 1).
- **2021 to 2022** – The Planning Commission granted Preliminary and Final Subdivision Plat approval for a 50-lot single-family subdivision on a portion of Lot 3 of Colonial Traditions PUD (Phase 2).
- **March 10, 2025** - The City Council approved a Major Planned Unit Development (PUD) Amendment on Lot 7 of Colonial Traditions PUD for 106, single-family attached and detached units on 18.40 acres.
- **November 6, 2025** – City staff, in accordance with Article 15-6., H. *Amendments*, of the Zoning Ordinance approved a Minor PUD Amendment affecting Lot 7 of Colonial Traditions PUD. The amendment will allow Lot 7 to consist of 87 single-family attached and detached units (38 townhomes and 49 single family homes) on 18.40 acres and authorize the project to be completed and platted in two phases.
- **January 27, 2026** – The subject application for Preliminary Subdivision Plat was postponed by the Planning Commission at the request of the applicant.

PUBLIC NOTIFICATION

This application was advertised as required by Section 4-2 of the Subdivision Regulations. As of the date of the writing of the staff report, staff have received correspondence from numerous citizens about the

development. The citizens have questions and concerns about the state of the infrastructure, emergency access, and utilities.

ZONING

Colonial Traditions PUD Master Plan indicates Lot 7 is designated for single family uses. The adopted Land Development Handbook allows Lot 7 to be developed with townhomes, courtyard lots, and cottage lots. The Land Development Handbook includes building types, setbacks, layout, and typical street section provisions for each lot type. The overall development is not allowed to exceed 10 units per acre with each phase not exceeding 20 units per acre. The Land Development Handbook includes building types, setbacks, layout, and typical street section provisions for each lot type.

PROPOSED SUBDIVISION PLAN

The 43-lot subdivision is located on a portion of Lot 7. Specifics of the subdivision are as follows:

- Acreage – 10.63 ac
- Use –Single Family Detached Houses
- Number of Lots – 43
- Dwelling Units per Acre – 4
- Rear Loaded Lots - All 43 lots are accessed from the rear of the property by private alleys;
- Lot Sizes - Largest Lot = 8,220sf / Smallest Lot = 5,202sf;
- Setbacks: Front-15ft, Rear-5ft, Side Yards-5.5ft, and Street Side Yard-15ft;
- Lot Width – 46ft typical
- Open Space – 2.33 acres (22%)
- Amenities – Existing Clubhouse, Swimming Pool, Tennis Courts

ANALYSIS

Plan Review

Zoning - The proposed single-family detached housing use, lot layout and density proposed in Phase 3A complies with the approved PUD Master Plan and Land Development Handbook. The proposed lots are to be developed with single-family houses all accessed from rear alley ways.

Prior to Final Subdivision Plat approval, the applicant shall submit proposed housing styles and layouts so that city staff can confirm compliance with the housing styles established by the approved Land Development Handbook.

Roadway Design/Access – Two new public streets, Cornelia Avenue and Winthrop Street are proposed within this phase of Colonial Traditions. All lots within Phase 3A of Colonial Traditions Subdivision are accessed from the rear of the properties from private 20ft and 30ft wide alley ways. The private alleys are connected to Traditions Way, Cornelia Avenue or Winthrop Street and no access is allowed to Traditions Way from the individual lots. The private alley ways are consistent with the PUD Master Plan and are allowed in planned unit developments. The proposed street names have been approved by the Baldwin County E-911 Addressing Department.

As referenced in the staff report and approval letter for Colonial Traditions Preliminary Subdivision Plat dated March 10, 2006, and letter addressed to Colonial Property Services, Inc. (applicant) on March 13, 2006, the developer was required to participate in a third access connecting Colonial Traditions to State Highway 59. Additionally, a condition of Ordinance 2155, Colonial Traditions PUD Amendment, approved by the City Council March 10, 2025, was for Colonial Traditions to comply with the current Fire Code prior to the issuance of Building Permits. The Fire Code requires a third emergency access entrance to Colonial Traditions. The applicant proposes a 50-foot access easement along the existing Settlers Way connecting to State Highway 59. The emergency access road will be constructed of crushed aggregate in accordance with the standards within the adopted Fire Codes and will be for the purpose of emergency vehicles and construction traffic only. No future

phases beyond 3A (including 3B, 4, 5, etc.) shall be approved without additional, approved access being constructed. This access is required to meet life safety standards, water service needs, and construction access (compliance with Section 6-3 of the Subdivision Regulations and Chapter 5 of the 2024 IFC, among others).

Common/Open Space – The Open Space complies with the Subdivision Regulations. 2.33 (22%) acres of Phase 3A is composed of common open space. The Subdivision Regulations require 10% of a subdivision to be common space. The primary open space is located around the storm water pond and is accessed by a sidewalk that circles the pond. Open space areas beyond the pond are to be sodded for active and passive recreational purposes.

Directly south of Phase 3A is the existing pool, clubhouse, tennis courts and parking area that serve as the primary common area and amenities for Colonial Traditions. These facilities were rehabbed and re-opened to serve as amenities for the residents of Phase I and Phase 2. The future residents of Phase 3A will also have the right to use the existing amenities. A home owners association will maintain the common areas.

Sidewalks – Four-foot-wide sidewalks were constructed within the Traditions Way rights-of-way when the street was originally built in 2006. Portions of this sidewalk are in disrepair and must be brought into compliance with the standards of the Americans with Disabilities Act (ADA) prior to Final Subdivision Plat approval. New five-foot-wide sidewalks are proposed within the rights-of-way of Cornelia Avenue and Winthrop Street. Additionally, a new five-foot-wide sidewalk is proposed around the storm water pond. The new sidewalks are connected to the existing sidewalks, common open spaces, and existing clubhouse and amenities.

Subdivision Drainage – A Stormwater Drainage Plan and report were submitted, reviewed, and approved the City Engineering Department. The project proposes to use a single wet detention pond.

Landscape Plans – Street trees were planted every ± 25 ft on center within the right-of-way of Traditions Way when the original subdivision was approved. These Live Oak trees are now between 6-10 inches in diameter. A seven-foot landscape planting strip is planned within the rights-of-way of Cornelia Avenue and Winthrop Street. This landscape strip will be planted with Southern Live Oaks and Tulip trees (or a street tree as recommended by the City Arborist) every 100ft in an alternating pattern. As required by the landscape standards within the Subdivision Regulations, three trees every 100ft are proposed around the storm water pond. Additionally, the landscape plans show trees on the rears of some of the lots and shrubs are provided around the stormwater pond. The Landscape Plans comply with the Subdivision Regulations.

Tree Preservation – The applicant submitted a tree survey showing the location of existing trees. The property is completely wooded with the predominant species being small to medium size Pine trees. According to the applicant's tree survey, there is a cluster of six protected Oak trees (13–17-inch DBH) located on proposed lots 23 and 24. Section 6-1, B. *Preservation of Natural Features and Amenities*, states existing features which would add value to residential development, such as trees, should be carefully considered in the design of subdivisions. Section 6-6, *Open Space, Landscape, and Buffering*, requires the design of subdivisions to preserve Protected Trees and integrate them into the design of the subdivision. The proposed subdivision does not comply with these requirements of the Subdivision Regulations. A condition has been included requiring the submittal of revised Landscape Plans preserving these Protected Trees.

Lighting Plan – Acorn style lighting was installed within Traditions Way right-of-way when Colonial Traditions Subdivision was originally constructed. New light poles with Traditionaire style fixtures are proposed within the rights-of-way of streets and along the private alleyways. The Lighting Plan complies with the standards within the Subdivision Regulations.

Engineering Department – The City Engineering Department performed a preliminary inspection of

the existing infrastructure at Colonial Traditions subdivision and noted numerous issues. These issues have an impact on the availability and capacity of these facilities to serve the existing and future residents of Colonial Traditions but do not represent life safety issues. The inspection comments will have to be addressed prior to Final Subdivision Plat approval and/or acceptance of the public infrastructure by the City. These issues include but are not limited to:

1. Sink holes in Traditions Way,
2. Poor pavement conditions on Traditions Way and Colonial Parkway,
3. The storm sewer will need to be cleaned, and videoed in its entirety,
4. Storm water maintenance, and
5. Sidewalks must meet ADA standards and dilapidated/broken sidewalks replaced.

Fire Marshal – The Fire Marshal has reviewed and approved the plans contingent on the emergency/construction access being provided as outlined above and as stated in the below conditions of approval.

Utilities

Gulf Shores Utilities - A service availability letter has been provided by Gulf Shores Utilities indicating water and sewer service are available for Phase 3A. Any future phase of development will require approval and a service availability letter from Gulf Shores Utilities. Gulf Shores Utilities has accepted the water and sewer infrastructure within the existing development with the exception for Phase 1 (20 lot single-family subdivision).

Baldwin EMC – An electrical conduit plan was provided from Baldwin EMC. Baldwin EMC has also issued a service availability letter indicating the 43-lot subdivision can be serviced with electricity.

Republic Service – Republic Services indicates residential garbage service is available to Colonial Traditions Phase 3A.

Riviera Utilities (Gas) - Riviera Utilities is willing and able to provide gas services to Phase 3A of Colonial Traditions. Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines.

RECOMMENDATION – Staff recommend approval of the Preliminary Subdivision Plat application with the following conditions:

1. As a condition of the issuance of a Land Disturbance Permit for Phase 3A, the applicant shall provide an access easement for a dedicated construction/emergency entrance along and including Settlers Way and extending to State Highway 59. The easement language shall be reviewed and approved by City staff and recorded before a Land Disturbance Permit is issued.
 - The construction/emergency entrance shall be engineered and built to the current adopted Fire Code and Fire Marshal's requirements. Details of the entrance shall be provided on revised civil plans.
 - The construction/emergency easement shall be a minimum 50 feet wide.
 - Traditions Parkway, Colonial Parkway, and Colony Circle south of Settlers Way shall be signed "No Construction Access" once the access is constructed and all construction traffic shall be directed to use the new access.
 - The construction/emergency entrance shall be completed before issuance of any Building Permits.
 - The construction/emergency entrance shall be maintained in good condition—if the conditions of the drive fall below Fire Code standards, no further building permits or certificates of occupancy will be issued until the drive is brought into compliance with required standards.

Prior to any approvals beyond Phase 3A, the construction/emergency entrance shall become a city street, constructed and dedicated to the City:

- Settlers Way shall be built to collector street standards as stipulated by the Subdivision Regulations and include all necessary utility infrastructure.
 - The construction/emergency entrance shall always remain open during construction and shall not be blocked to hinder emergency access to the development.
 - Future construction traffic is required to utilize the new entrance and shall refrain from using any streets accepted by the City.
2. Prior to issuance of Certificates of Occupancy for any structure in Phase 3A, streets/infrastructure south of the new construction entrance shall be repaired and submitted for acceptance by the City.
 3. Prior to Final Subdivision Plat approval, the applicant shall submit proposed housing styles and layouts so that city staff can confirm compliance with the housing styles established by the approved Land Development Handbook.
 4. In accordance with Section 6-1, B. *Preservation of Natural Features and Amenities*, and Section 6-6, *Open Space, Landscape, and Buffering*, of the Subdivision Regulations and prior to the issuance of any future city permits Phase 3A shall be redesigned take into consideration the six Protected Oak Trees on lots 23 and 24 and show this area as open space as required by the Subdivision Regulations.
 5. Per the condition of the 2016 PUD Re-activation approval, roadway infrastructure improvements/upgrades recommended in the traffic study shall be completed or a fee-in-lieu of construction shall be paid at the time the traffic impact of 150 single-family lots occurs. Required improvements are:
 - a. Construct southbound right turn lane on Hwy 59 to County Road 6 West. Minimal queue length will be 300', and final design to be approved by ALDOT & City.
 - b. Construct additional westbound lane on CR6 West from Hwy 59 to Colonial Parkway.
 - c. Construct additional eastbound lane on CR6 West from Colonial Parkway to Hwy 59.

Attachments: Location Maps, Draft Resolution, Plans

RESOLUTION ZA25-000062
COLONIAL TRADITIONS PHASE 3A
PRELIMINARY SUBDIVISION PLAT

THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF GULF SHORES, ALABAMA, WHILE IN REGULAR SESSION ON FEBRUARY 24, 2026, as follows:

By a vote of 0-0, the Gulf Shores Planning Commission approves Colonial Traditions Phase 3A Preliminary Subdivision Plat subject to the following conditions:

1. As a condition of the issuance of a Land Disturbance Permit for Phase 3A, the applicant shall provide an access easement for a dedicated construction/emergency entrance along and including Settlers Way and extending to State Highway 59. The easement language shall be reviewed and approved by City staff and recorded before a Land Disturbance Permit is issued.
 - The construction/emergency entrance shall be engineered and built to the current adopted Fire Code and Fire Marshal's requirements. Details of the entrance shall be provided on revised civil plans.
 - The construction/emergency easement shall be a minimum 50 feet wide.
 - Traditions Parkway, Colonial Parkway, and Colony Circle south of Settlers Way shall be signed "No Construction Access" once the access is constructed and all construction traffic shall be directed to use the new access.
 - The construction/emergency entrance shall be completed before issuance of any Building Permits.
 - The construction/emergency entrance shall be maintained in good condition—if the conditions of the drive fall below Fire Code standards, no further building permits or certificates of occupancy will be issued until the drive is brought into compliance with required standards.

Prior to any approvals beyond Phase 3A, the construction/emergency entrance shall become a city street, constructed and dedicated to the City:

- Settlers Way shall be built to collector street standards as stipulated by the Subdivision Regulations and include all necessary utility infrastructure.
 - The construction/emergency entrance shall always remain open during construction and shall not be blocked to hinder emergency access to the development.
 - Future construction traffic is required to utilize the new entrance and shall refrain from using any streets accepted by the City.
2. Prior to issuance of Certificates of Occupancy for any structure in Phase 3A, streets/infrastructure south of the new construction entrance shall be repaired and submitted for acceptance by the City.
 3. Prior to Final Subdivision Plat approval, the applicant shall submit proposed housing styles and layouts so that city staff can confirm compliance with the housing styles established by the approved Land Development Handbook.

4. In accordance with Section 6-1, B. Preservation of Natural Features and Amenities, and Section 6-6, Open Space, Landscape, and Buffering, of the Subdivision Regulations and prior to the issuance of any future city permits Phase 3A shall be redesigned take into consideration the six Protected Oak Trees on lots 23 and 24 and show this area as open space as required by the Subdivision Regulations.
5. Per the condition of the 2016 PUD Re-activation approval, roadway infrastructure improvements/upgrades recommended in the traffic study shall be completed or a fee-in-lieu of construction shall be paid at the time the traffic impact of 150 single-family lots occurs. Required improvements are:
 - a. Construct southbound right turn lane on Hwy 59 to County Road 6 West. Minimal queue length will be 300', and final design to be approved by ALDOT & City.
 - b. Construct additional westbound lane on CR6 West from Hwy 59 to Colonial Parkway.
 - c. Construct additional eastbound lane on CR6 West from Colonial Parkway to Hwy 59.

This Resolution shall become effective upon its adoption.

ADOPTED this 24th day of February 2026.

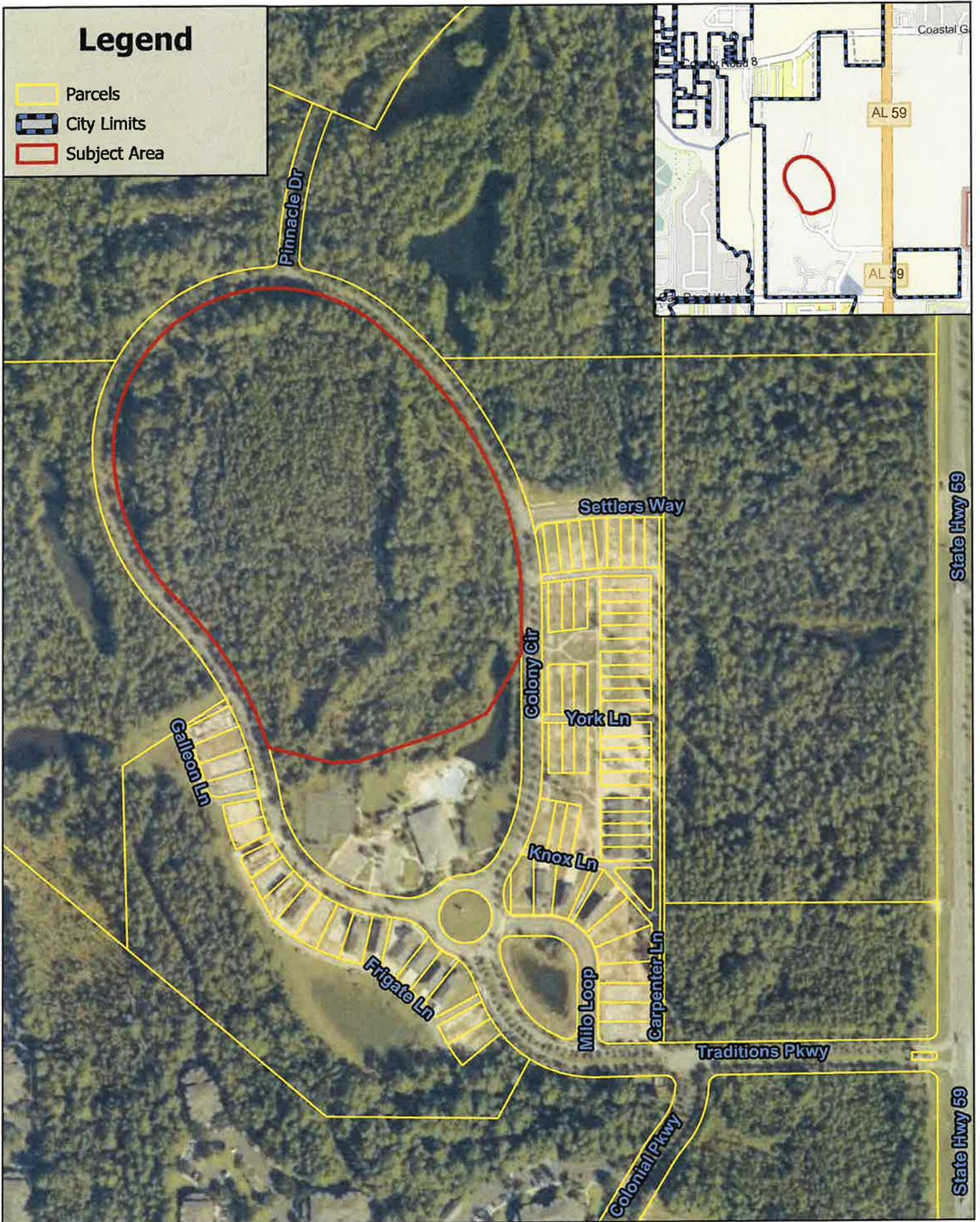
Pete Vakakes
Chairman, Planning Commission

Attest:

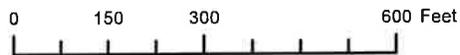
Mell Davis, Secretary, Planning Commission

Legend

- Parcels
- City Limits
- Subject Area

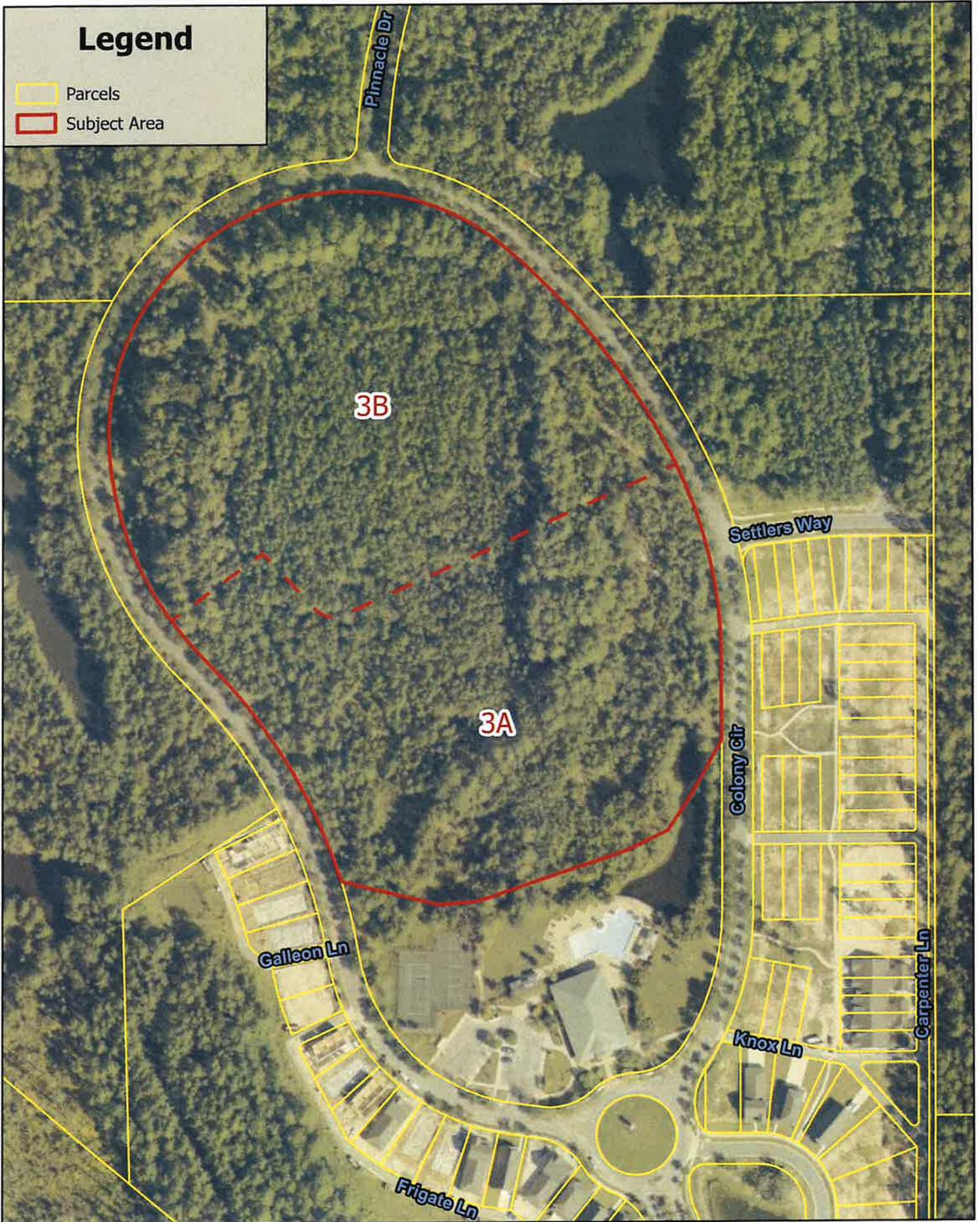


Colonial Traditions Ph 3A Preliminary Plat
Overview Map
ZA25-000062 - January 27, 2026

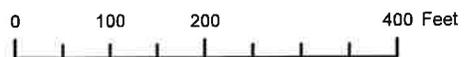


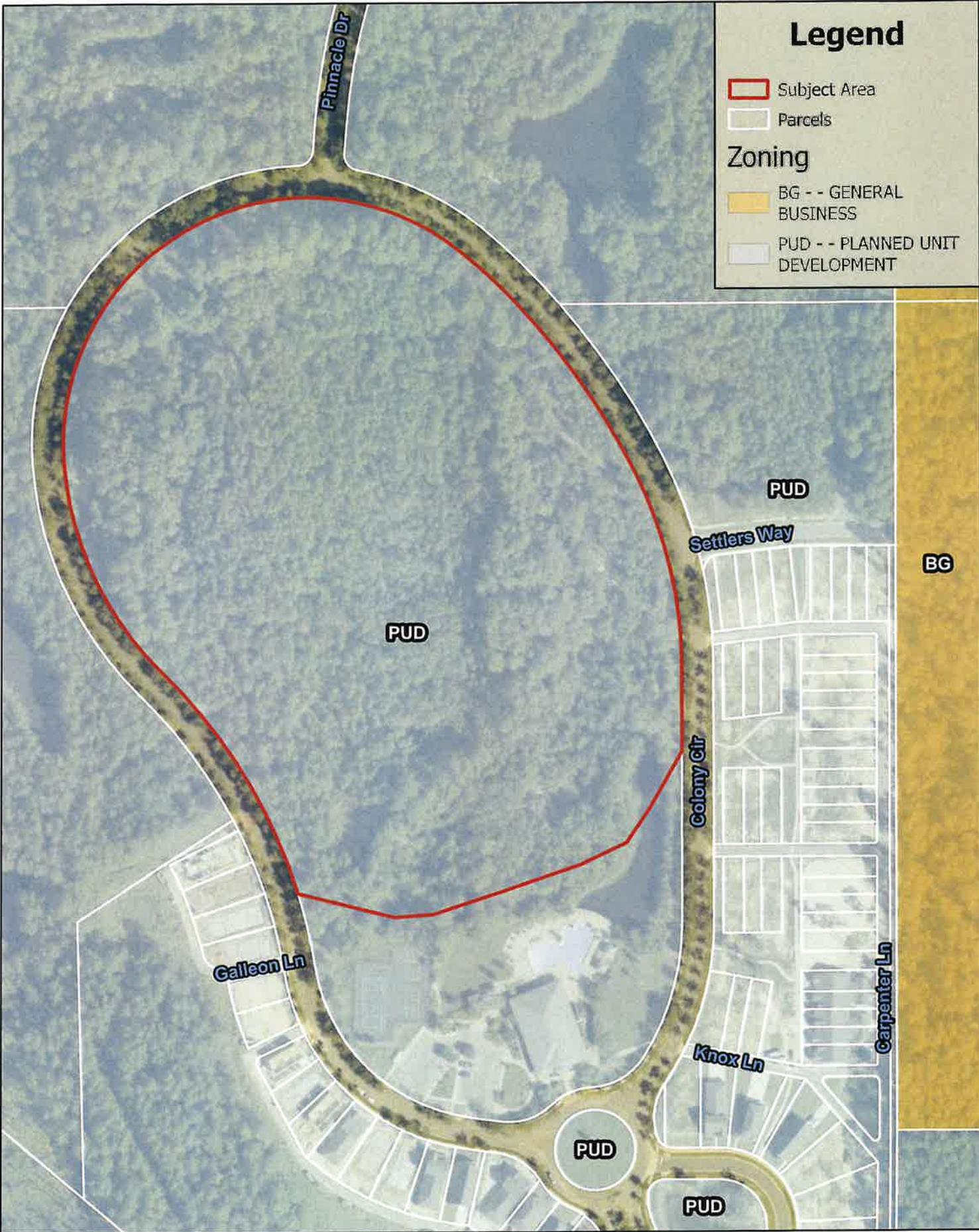
Legend

- Parcels
- Subject Area

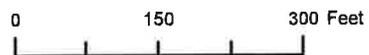


Colonial Tradtions Ph 3A Preliminary Plat
Location Map - 2025 Aerials
ZA25-0000062 - January 27, 2026





Colonial Traditions Ph 3A Preliminary Plat
 Zoning Districts Map
 ZA25-000062 - January 27, 2026



Formal Request to Be Placed on February 24 Planning & Zoning Agenda and Included in Public Record – Colonial Traditions Development

Planning and Zoning Commission
City of Gulf Shores
205 Clubhouse Drive Suite B, Gulf Shores, AL 36542

Dear Planning and Zoning Commissioners,

I am writing to formally request to be placed on the agenda for the February 24 Planning and Zoning meeting to address serious and ongoing concerns regarding the Colonial Traditions development, including its approval history, Planned Unit Development (PUD) status, infrastructure and utility compliance, fire protection, issuance of Certificates of Occupancy, and the City's ongoing oversight and enforcement practices.

I am also formally requesting that this letter be **included in the February 24 agenda packet and entered into the public record.**

I am a homeowner within this development. Since moving into this neighborhood, I have become aware of numerous issues that were not disclosed at the time of purchase and that directly affect health, safety, and habitability. I have raised these concerns repeatedly with City staff and other departments, yet many remain unresolved. Homeowners continue to experience significant impacts, and there has been little transparency regarding how or why this development has been allowed to proceed under current conditions.

For clarity, I am also in the process of sending a certified letter to Mayor Robert Craft outlining these same concerns in detail and requesting an independent review of the approval and compliance history of Colonial Traditions.

I am respectfully requesting the opportunity at the February 24 meeting to ask questions directly, speak about what is happening to me and my family as residents of this neighborhood, and present the factual issues we are experiencing so these matters may be discussed in a public and transparent forum.

At a minimum, I am requesting the opportunity to address the following topics:

- Why Colonial Traditions continues to operate under a Planned Unit Development (PUD) framework when baseline infrastructure, safety, and utility standards are not being met
- Whether construction activity occurred prior to required Planning and Zoning approvals, utility provider reports, and issuance of Land Disturbance Permits
- The current status of sewer infrastructure, including the fact that the system is privately maintained, aging, and has documented operational issues
- Developer admission in writing that sewage issues exist, contrasted with statements that no issues exist in inhabited areas

- Stormwater management and retention pond maintenance failures, including standing water throughout the neighborhood
- Streets that remain unaccepted by the City and what must occur before acceptance can happen
- Sidewalks and accessibility routes that are broken, uneven, and appear noncompliant
- Fire hydrant service, fire flow, and whether adequate fire protection infrastructure was included in utility approvals
- Reports that the neighborhood was operating under an expired approval letter from Gulf Shores Utilities, and that residents have been told a new approval exists — but without any confirmation of when that new approval was issued or what conditions it contains
- Fire Marshal inspections, recommendations, and whether those recommendations are mandatory
- Issuance of Certificates of Occupancy while infrastructure and safety issues remain unresolved
- Operation of the community pool prior to a final Health Department inspection
- Reports that a **representative of Valor removed City-installed signage**
- Lack of basic services during initial occupancy, including extended absence of mail service and lack of street lighting until residents escalated the issue
- The pattern of silence, delay, and dismissal experienced by homeowners who raise concerns

Homeowners did not purchase homes expecting to become infrastructure investigators simply to live safely in their neighborhood. We relied on the City's approval, inspection, and enforcement processes to protect families before homes are sold and occupied.

Please confirm in writing that I will be placed on the February 24 Planning and Zoning agenda, that this letter will be included in the agenda packet and public record, and advise of any procedural requirements, time limits, or materials needed in advance.

Thank you for your attention to this matter. I look forward to your response.

Sincerely,

Madison Massingill

6130 Frigate Lane Gulf Shores, AL 36542

madisonmassingill@gmail.com

423-488-4023

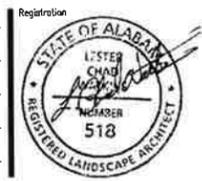
NOT
FOR CONSTRUCTION
 THESE PLANS HAVE NOT BEEN
 APPROVED AND ARE SUBJECT
 TO CHANGE.

A Landscape Development Plan for
Colonial Traditions Ph. 3a
 Gulf Shores, Alabama

| Revisions | |
|-----------|--------------------------------|
| No. | Date / Revisions / Submissions |
| 12.08.25 | CITY SUBMITTAL |
| 01.16.26 | CITY SUBMITTAL |
| 02.13.26 | CITY SUBMITTAL |
| | |
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BC
 Drawn
 VTW
 Project Manager
 LCW
 Principal
 253554-001
 Project No.
 12.08.25
 Date



Sheet Title

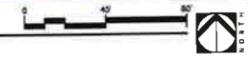
**MASTER PLAN
 RENDERING**

Sheet No.

MP100



1 LANDSCAPE MASTER PLAN
 Scale: 1" = 40'



SITE DATA:
 CURRENT ZONING: BG/PUD
 TYP. SINGLE-FAMILY RESIDENTIAL LOT SIZE: 46'x120'
 LIN. FT. STREETS: 979 LF
 LIN. FT. ALLYS: 1,687 LF
 NUMBER OF LOTS: 43
 LARGEST LOT: 8,220 SF (LOT 43)
 SMALLEST LOT: 5,502 SF (LOT 1)
 DENSITY: 4.05 UNITS/AC
 TOTAL AREA: 10.63 AC±

UTILITY PROVIDERS:
 ELECTRIC: BALDWIN EMC
 WATER: GULF SHORES UTILITIES
 SEWER: GULF SHORES UTILITIES
 GAS: RIVIERA

SETBACKS:
 FRONT: 15 FT.
 REAR: 5 FT.
 SIDE: 5.50 FT.
 SIDE STREET: 15 FT.

DEVELOPER/OWNER:
 DILWORTH DEVELOPMENT, INC.
 2124 MOORES MILL RD.
 AUBURN, AL 36830
 PARCEL #05-01-09-29-4-001-002.008
 (INS #1969174)

SURVEYOR/ENGINEER:
 DEWBERRY
 25353 FRIENDSHIP RD,
 DAPHNE, AL 36526
 VICTOR L. GERMAIN, PLS #38473
 JASON N. ESTES, PE #22714

WETLAND NOTICE
 BY APPROVAL OF THIS PLAN, THE PLANNING COMMISSION OF THE CITY OF GULF SHORES, MAKES NO REPRESENTATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED, THAT ANY LOT DELINEATED ON THIS PLAN WHICH MAY BE ENCUMBERED BY ANY WETLANDS IS OR WILL BE SUITABLE FOR IMPROVEMENT OR OTHER DEVELOPMENT.
 PURCHASERS ARE ON NOTICE THAT IMPROVEMENT OF PROPERTY ENCUMBERED BY WETLANDS WILL REQUIRE SEPARATE PERMITTING BY FEDERAL AND/OR STATE AUTHORITIES UNDER SUCH LAW AND REGULATIONS GOVERNING WETLANDS AS MAY BE IN EFFECT FROM TIME TO TIME.

FLOOD ZONE INFORMATION:
 THIS PROPERTY LIES WITHIN ZONE "X" (UNSHADED) AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS OF BALDWIN COUNTY, ALABAMA, MAP NUMBER 0100300929M, COMMUNITY NUMBER 015000, PANEL NUMBER 0929, SUFFIX M, AND MAP NUMBER 0100300933M, COMMUNITY NUMBER 015000, PANEL NUMBER 0933, SUFFIX M, MAPS EFFECTIVE DATE APRIL 19, 2019.

CERTIFICATE OF COVENANTS AND RESTRICTIONS RECORDATION:
 REFERENCE THE SUPPLEMENTAL DECLARATION TO THE DECLARATION OF PROTECTIVE COVENANTS OF COLONIAL TRADITIONS PHASE 3A AS RECORDED IN INSTRUMENT NUMBER _____ PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

JACK EDWARDS AIRPORT HEIGHT OVERLAY DISTRICT:
 ALL LOTS IN THIS SUBDIVISION ARE LOCATED WITHIN THE JACK EDWARDS AIRPORT HEIGHT ZONING OVERLAY DISTRICT AND SHALL BE SUBJECT TO THE PROVISIONS OF ORDINANCE NO. 831 OR TO THE PROVISIONS OF ANY SUPERSEDING ORDINANCE OR AMENDMENT THERETO.

CERTIFICATION OF OWNERSHIP AND DEDICATION:
 THIS IS TO CERTIFY THAT WE THE UNDERSIGNED ARE THE OWNERS OF THE LAND SHOWN AND DESCRIBED IN THE PLAT, AND THAT WE HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS RECORDED IN A SEPARATE DOCUMENT.

DATED THIS _____ DAY OF _____ 2025.
 BY: _____
 DILWORTH DEVELOPMENT, INC.

 SIGNATURE _____
 PRINT _____

ACKNOWLEDGEMENT OF NOTARY PUBLIC:
 STATE OF ALABAMA:
 COUNTY OF BALDWIN:
 I, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT _____ OF DILWORTH DEVELOPMENT, INC. IS SIGNED TO THE NAME AS _____ FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND WITH AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR SAID COMPANY.
 GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ 2025.

 MY COMMISSION EXPIRES: _____

CERTIFICATION BY GULF SHORES UTILITIES:
 THE UTILITIES BOARD OF THE CITY OF GULF SHORES HEREBY CERTIFIES THAT, AS OF THE DATE OF THIS CERTIFICATION, POTABLE WATER SERVICE (IS/IS NOT) AVAILABLE AND SANITARY SEWER SERVICE (IS/IS NOT) AVAILABLE TO THE PROPERTY DESCRIBED BY THIS PLAT TAKEN AS A WHOLE. THE BOARD DOES NOT CERTIFY THAT THE INFRASTRUCTURE NECESSARY TO PROVIDE POTABLE WATER SERVICE AND SANITARY SEWER SERVICE TO THE INDIVIDUAL LOTS SHOWN ON THIS PLAT HAS BEEN INSTALLED AS OF THE DATE OF THIS CERTIFICATION OR WILL BE INSTALLED IN THE FUTURE. FURTHER, THE BOARD MAKES NO STATEMENT REGARDING AND ASSUMES NO RESPONSIBILITY FOR ANY PARTICULAR OF THIS PLAT NOT ASSOCIATED WITH PROVISIONS OF POTABLE WATER AND SANITARY SEWER SERVICE TO THE PROPERTY DESCRIBED BY THIS PLAT TAKEN AS A WHOLE AND HEREBY AFFIRMATIVELY DISCLAIMS ANY SUCH RESPONSIBILITY.

GENERAL MANAGER SIGNATURE _____ DATE _____

CERTIFICATE OF APPROVAL BY BALDWIN EMC:
 THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____ 2025.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY E-911 GIS/ADDRESSING:
 THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE WITHIN PLAT THE PLANNING DIRECTOR OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY THE FIRE MARSHAL OF GULF SHORES, ALABAMA:
 APPROVED BY THE FIRE MARSHAL OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE FIRE MARSHAL OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

FIRE MARSHAL _____ DATE _____

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION OF GULF SHORES, ALABAMA:
 APPROVED BY THE CITY OF GULF SHORES PLANNING COMMISSION, BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING COMMISSION OF THE CITY OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

CHAIRMAN _____ DATE _____

CERTIFICATE OF APPROVAL BY THE PLANNING DIRECTOR OF GULF SHORES, ALABAMA:
 APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING DIRECTOR OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

PLANNING DIRECTOR _____ DATE _____

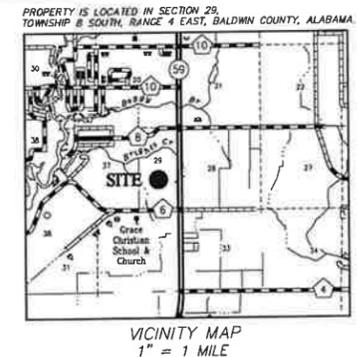
CERTIFICATE OF APPROVAL BY THE CITY ENGINEER OF GULF SHORES, ALABAMA:
 APPROVED BY THE CITY ENGINEER OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE CITY ENGINEER OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

CITY ENGINEER _____ DATE _____

AFFIDAVIT OF LICENSED PROFESSIONAL ENGINEER:
 I, JASON N. ESTES, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ALABAMA FOR DEWBERRY HOLDING LICENSE NUMBER 22714, HEREBY CERTIFY THAT I HAVE DESIGNED THE IMPROVEMENTS SHOWN ON THIS PLAT IN CONFORMANCE WITH APPLICABLE CODES AND LAWS, THE PRINCIPLES OF GOOD ENGINEERING PRACTICE, AND THE DRAINAGE DESIGN REQUIREMENTS OF THE CITY OF GULF SHORES OR BALDWIN COUNTY, AS APPLICABLE. I FURTHER CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTION AND FIND THAT IT CONFORMS TO THE DESIGNED IMPROVEMENTS SHOWN ON THIS PLAT.

JASON N. ESTES _____ DATE _____

| LINE | BEARING | LENGTH | BEARING | LENGTH |
|------|-------------|---------|-------------|---------|
| 1 | N74°01'01"W | 160.90' | N74°01'01"E | 160.90' |
| 2 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 3 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 4 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 5 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 6 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 7 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 8 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 9 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 10 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 11 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 12 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 13 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 14 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 15 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 16 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 17 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 18 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 19 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 20 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 21 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 22 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 23 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 24 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 25 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 26 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 27 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 28 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 29 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 30 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 31 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 32 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 33 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 34 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 35 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 36 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 37 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
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| 39 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 40 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 41 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 42 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 43 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 44 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 45 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
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| 47 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 48 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
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| 51 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 52 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 53 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 54 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 55 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 56 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 57 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 58 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 59 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
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| 61 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 62 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 63 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 64 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 65 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 66 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 67 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 68 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 69 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 70 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 71 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 72 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 73 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 74 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 75 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 76 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 77 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 78 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 79 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 80 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 81 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 82 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 83 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 84 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 85 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 86 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 87 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 88 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 89 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 90 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 91 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 92 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 93 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 94 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 95 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 96 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 97 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 98 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |
| 99 | N74°01'01"W | 46.00' | N74°01'01"E | 46.00' |
| 100 | N74°01'01"E | 46.00' | N74°01'01"W | 46.00' |



- GENERAL NOTES:**
- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
 - COMMON AREAS AND STORMWATER FACILITIES ARE NOT THE RESPONSIBILITY OF THE CITY OF GULF SHORES TO MAINTAIN AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.
 - ALL UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
 - THERE IS DEDICATED HERETHWITH A 10 FOOT UTILITY EASEMENT ON ALL LOT LINES AND COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS AND A 10 FOOT (5 FEET EACH SIDE) UTILITY EASEMENT ON EACH SIDE OF LOT AND COMMON AREA LINES, UNLESS OTHERWISE SHOWN.
 - THERE IS A DEDICATED DRAINAGE UTILITY AND MAINTENANCE EASEMENT OVER THE ENTIRETY OF ALL COMMON AREAS.
 - THERE IS DEDICATED HERETHWITH A 15 FEET DRAINAGE AND UTILITY EASEMENT ADJACENT TO THE RIGHT-OF-WAYS.
 - THERE IS DEDICATED HERETHWITH A 5 FEET DRAINAGE AND UTILITY EASEMENT ADJACENT TO THE PRIVATE ALLEYS.
 - THERE IS DEDICATED HERETHWITH A 5 FEET DRAINAGE AND UTILITY EASEMENT ALONG THE SIDE AND REAR LOT LINES FOR LOTS 98 THROUGH 105.
 - MAINTENANCE OF PRIVATE ALLEYS WILL BE ADEQUATELY AND CONTINUOUSLY FINANCED BY ASSESSMENTS AGAINST ADJOINING PROPERTIES ESTABLISHED BY COVENANTS AND ADMINISTERED THROUGH A HOME OWNERS ASSOCIATION.
 - THERE IS DEDICATED HERETHWITH A 20 FOOT DRAINAGE EASEMENT ALONG THE REAR OF ALL LOTS (10 FEET EACH SIDE IF COMMON LOT LINES) AND A 10 FOOT DRAINAGE EASEMENT (5 FEET EACH SIDE) ALONG ALL SIDE LOT LINES.
 - FINISHED FLOOR ELEVATIONS SHOWN HEREON ARE MINIMUM.

- SURVEYOR'S NOTES:**
- ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH ALABAMA STANDARDS.
 - THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
 - THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
 - SURVEY WAS CONDUCTED IN MARCH 6, 2025, AND IS RECORDED IN FIELD BOOK 338 PAGE 65 AND IN AN ELECTRONIC DATA FILE.
 - BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES.
 - BEARINGS SHOWN HEREON ARE REFERENCED TO STATE PLANE GRID COORDINATES, ALABAMA WEST ZONE, D102, NAD83 (2011).
 - ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 88.
 - ALL GPS OBSERVATIONS WERE TAKEN USING REAL TIME KINEMATIC GPS.
 - THIS SURVEY IS BASED UPON MONUMENTATION FOUND IN PLACE AND DOES NOT PURPORT TO BE A RETRACEMENT AND PROPORTIONING OF THE ORIGINAL GOVERNMENT SURVEY.
 - THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
 - IMPROVEMENTS MAYBE EXAGGERATED FOR CLARITY.
 - SOURCE OF INFORMATION: COLONIAL TRADITIONS, SLIDE 2382-D & E, RE-RECORDED IN SLIDE 2919-A & B, INSTRUMENT #1969174; COLONIAL TRADITIONS PHASE 1, SLIDE 2887-A, B & C; COLONIAL TRADITIONS PHASE 2, SLIDE 2939-A, B, C & D; PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

LEGAL DESCRIPTION:
 LOT 7A, A RESUBDIVISION OF LOT 7, COLONIAL TRADITIONS, AS RECORDED AT SLIDE _____ IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
 (DESCRIPTION COMPOSED FROM PROBATE RECORDS AND FIELD SURVEY)

SURVEYOR'S CERTIFICATE:
 STATE OF ALABAMA
 COUNTY OF BALDWIN
 WE, DEWBERRY, A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF DAPHNE, ALABAMA, HEREBY STATE THAT THE ABOVE IS A CORRECT MAP OR PLAN OF THE DESCRIBED PROPERTY SITUATED IN BALDWIN COUNTY, ALABAMA.
 I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

VICTOR L. GERMAIN, AL. P.L.S. NO. 38473 DATE _____
 DEWBERRY
 SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

COLONIAL TRADITIONS PHASE 3A

A RE-SUB OF LOT 7A, COLONIAL TRADITIONS (SLIDE 2919-A & B)

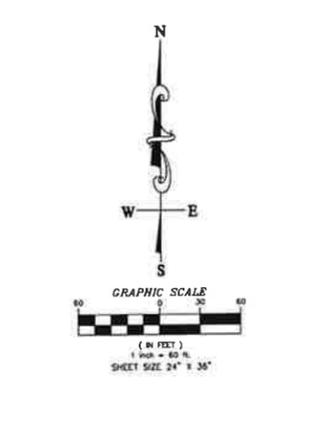
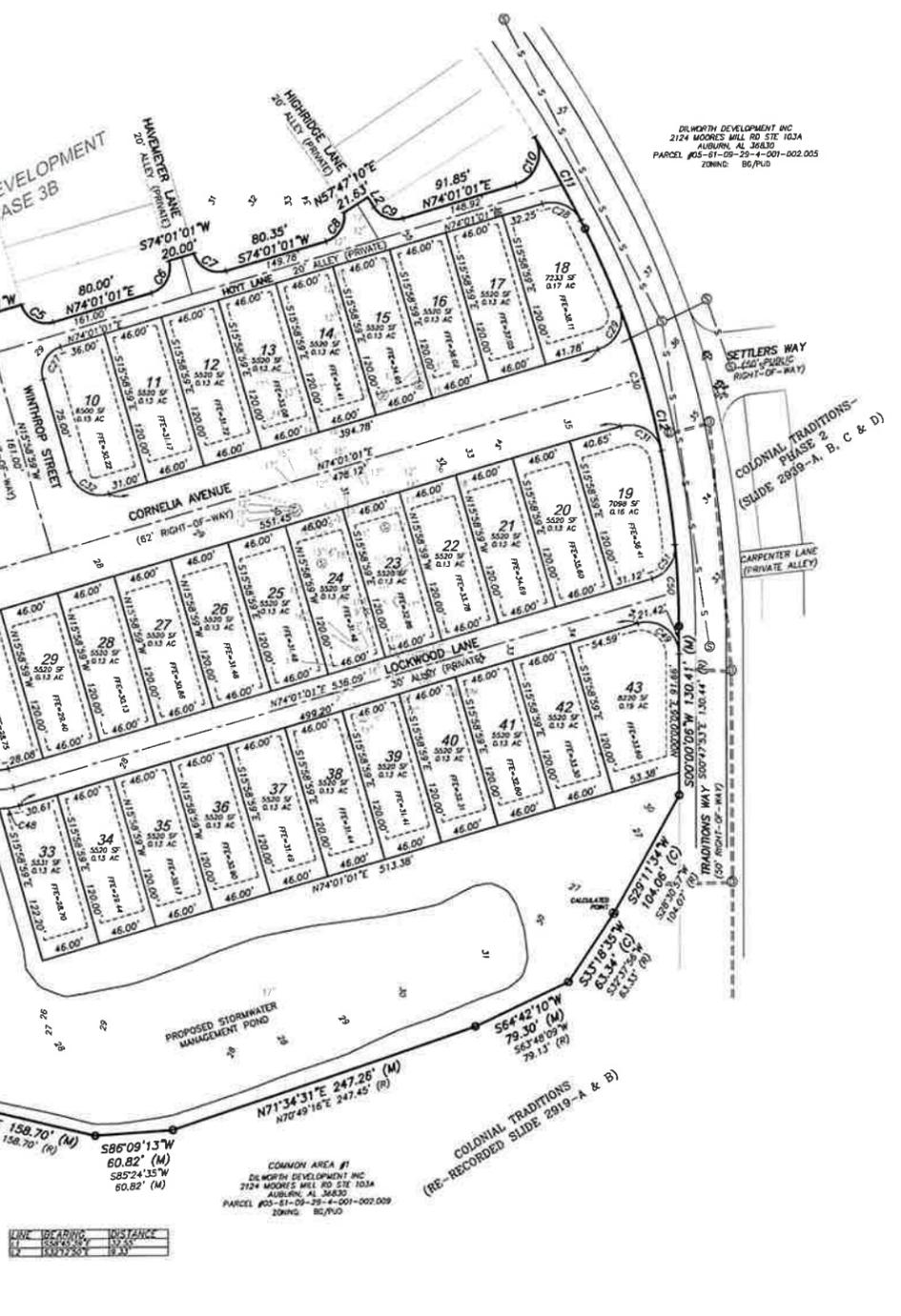
PRELIMINARY PLAT - NOT FOR RECORDING
 JANUARY 28, 2025 - SHEET 1 OF 1

| PRELIMINARY PLAT- FOR REVIEW | | | | | |
|------------------------------|-------|----------|---------------|-----------|-----------------|
| DESIGN | XXX | DRAWN | A.S.C./V.L.G. | CHKD. | V.L.G. |
| ENG | J.N.E | SURVEYOR | V.L.G. | PROJ MGR | C.C.B. |
| | | | | SCALE | 1"=60' |
| | | | | PROJ. NO. | 50185608 |
| | | | | FILE | 50185608_PRELIM |
| | | | | SHEET | 1 OF 1 |



PURPOSE STATEMENT
 THE PURPOSE OF THE SUBDIVISION IS TO CREATE 43 ADDITIONAL SINGLE-FAMILY RESIDENTIAL LOTS TO THE COLONIAL TRADITIONS PUD.

LEGEND:
 CFF = CAPPED REBAR FOUND (VOLKERT CA-0085-LS)
 RBF = REBAR FOUND
 (M) = MEASURED BEARING AND DISTANCE
 (R) = RECORDED BEARING AND DISTANCE
 INS = INSTRUMENT
 INV = INVERT
 RCP = REINFORCED CONCRETE PIPE
 SBL = BUILDING SETBACK LINE
 SMH = SEWER MANHOLE
 DMH = DRAINAGE MANHOLE
 W = WATER METER
 F = FIRE HYDRANT
 V = WATER VALVE
 S = SEWER LINE
 - - - = EXISTING ELEVATION CONTOUR
 P = PINE TREE
 S = SYCAMORE
 O = OAK TREE



CONSTRUCTION PLANS FOR COLONIAL TRADITIONS PHASE 3A

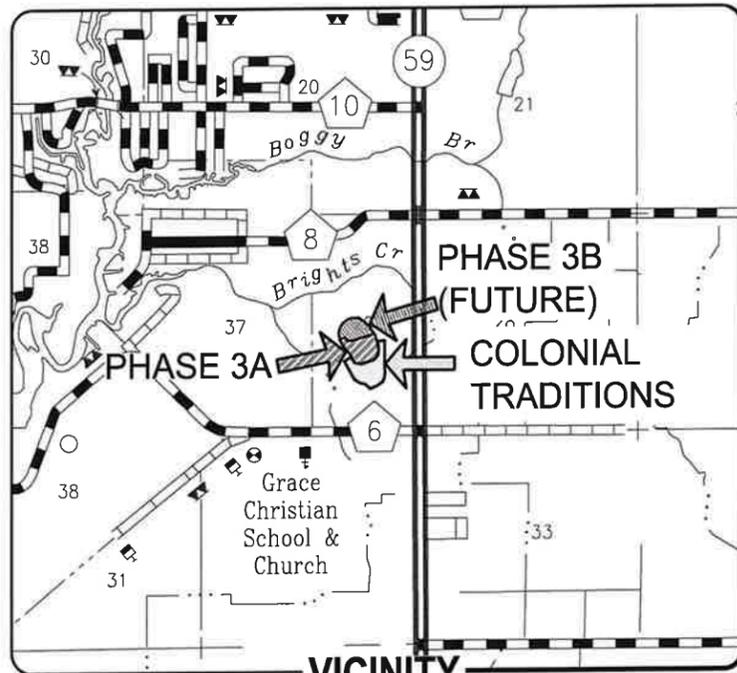
Prepared For:
VALOR COMMUNITIES
GULF SHORES, ALABAMA

ROAD CLASSIFICATION: LOCAL
POSTED SPEED LIMIT: 20 MPH (MAIN ROADS), 10 MPH (ALLEYS)

ROADWAY DATA TABLE

| ROAD NAME | ROAD LENGTH | DESIGN SPEED | SHEET INDEX |
|-----------------|-------------|--------------|-------------|
| CORNELIA AVENUE | 815 Ft | 20 MPH | PP1.1 |
| LOCKWOOD LANE | 745 Ft | 10 MPH | PP1.2 |
| WINTHROP STREET | 193 Ft | 20 MPH | PP1.3 |
| LAVINGTON LANE | 228 Ft | 10 MPH | PP1.4 |
| HOYT LANE | 473 Ft | 10 MPH | PP1.5 |
| MOFFAT LANE | 224 Ft | 10 MPH | PP1.5 |

SPECIFICATIONS



VICINITY
MAP



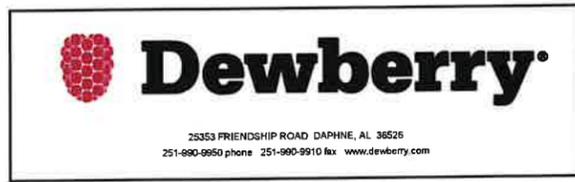
Jason N. Estes
Signature

12-8-25
Date:

JASON N. ESTES
Project Engineer

22714
Reg. No.

Prepared By:



Date: DECEMBER 2025
Project Number: 50190518
**PRELIMINARY- NOT
FOR CONSTRUCTION**

INDEX:

| SHEET NO. | SHEET TITLE |
|---------------|---|
| C0.0 | TITLE SHEET |
| C0.1 | GENERAL NOTES |
| C0.2 | TYPICAL ROADWAY SECTIONS & DETAILS |
| C1.0 | OVERALL LAYOUT |
| C1.1-C1.2 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C2.0 | CONSTRUCTION BEST MANAGEMENT PRACTICES PLAN |
| C3.0 | GRADING & DRAINAGE PLAN |
| C3.1 | SPOT GRADING & FFE PLAN |
| C4.0 | WATER & SEWER PLAN |
| C4.1 | FIRE SAFETY PLAN |
| C5.0 | SIDEWALK, STREET LIGHT & SIGNAGE PLAN |
| PP1.0 - PP1.5 | PLAN PROFILE SHEET (ROADWAY) |
| PP2.0 | PLAN PROFILE (SWALE A) |
| PP2.1 | PLAN PROFILE (STORM DRAIN) |
| T1.0 | POND DETAIL SHEET |
| T2.0 - T2.1 | DRAINAGE DETAILS |
| T3.0 | BEST MANAGEMENT PRACTICES DETAILS |
| X1.00 - X1.04 | CROSS SECTIONS (ROADWAY) |

INDEX

REVISIONS:

| # | DATE | BY | DESCRIPTION |
|---|------------|-----|---|
| 1 | 2025.12.12 | ccb | Revised per internal review |
| 2 | 2025.01.09 | tgg | Revised per City of Gulf Shores review comments |
| | | | |
| | | | |
| | | | |
| | | | |

REVISIONS

ISSUE:

| DATE | BY | DESCRIPTION |
|------|----|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |

ISSUE

**COLONIAL TRADITIONS
PHASE 3A
VALOR COMMUNITIES
GULF SHORES, ALABAMA**

SEAL



**PRELIMINARY
NOT FOR
CONSTRUCTION**

SCALE

N/A

| NO. | DESCRIPTION | DATE |
|-----|---|------------|
| 1 | REVISED PER CITY OF GULF SHORES REVIEW COMMENTS | 2026.01.09 |
| 2 | REVISED PER INTERNAL REVIEW | 2025.12.12 |

REVISIONS

| | |
|-------------|---------------|
| DRAWN BY | lgg/cob |
| DESIGNED BY | nll |
| APPROVED BY | jne |
| CHECKED BY | ccb |
| DATE | December 2025 |

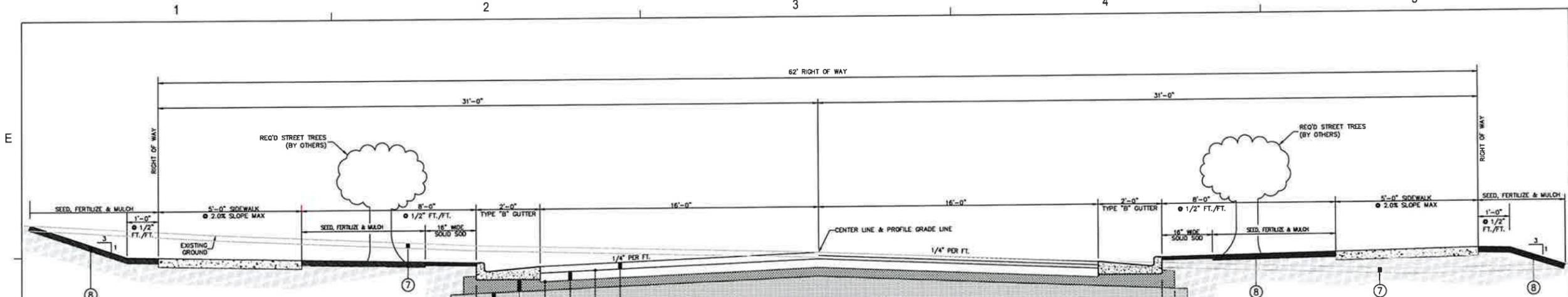
TITLE

TYPICAL SECTIONS

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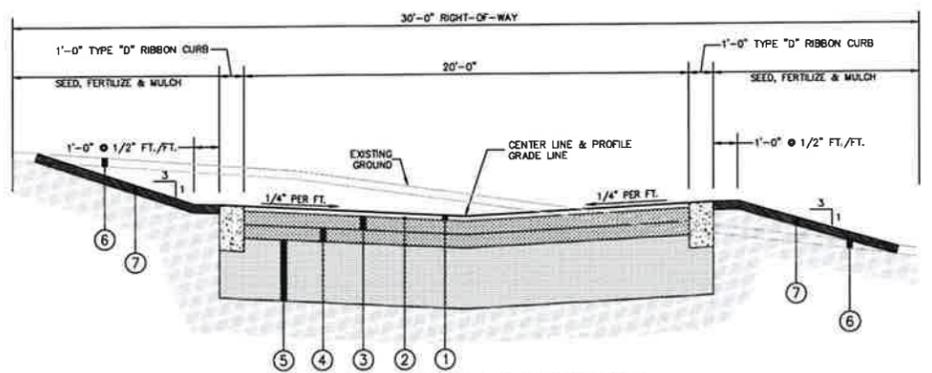
C0.2

SHEET NO.

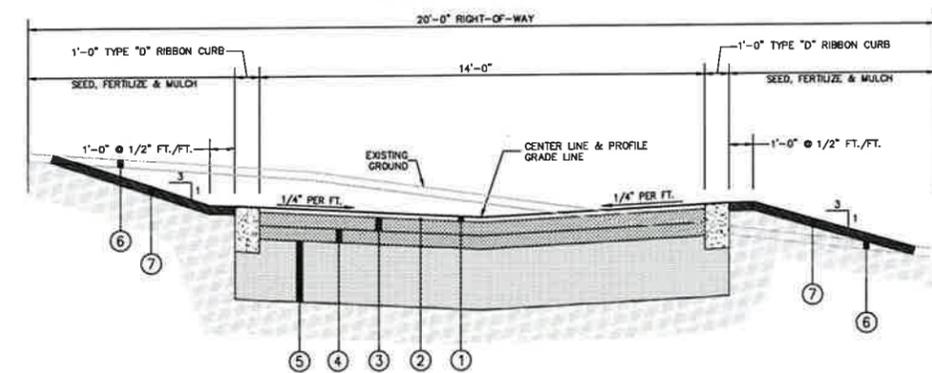


- ROADWAY STRUCTURE DESCRIPTION (CORNELIA & WINTHROP)**
- 424-A SUPERPAVE WEARING SURFACE, 1 1/2" MAX AGGREGATE SIZE MIX, ESAL RANGE C/D, 1.5" THICK (165 LB/SY)
 - 405-A TACK COAT, SPREAD RATE OF 0.10 GAL/SY
 - 424-B SUPERPAVE BINDER SURFACE, 3/4" MAX AGGREGATE SIZE MIX, ESAL RANGE C/D, 2.25" (250 LB/SY)
 - 401-A PRIME COAT, SPREAD RATE OF 0.20 GAL/SY
 - 301A-012 CRUSHED AGGREGATE BASE COURSE, TYPE B, PLANT MIXED, 6" COMPACTED THICKNESS (B BASE) TO 100% OF THE MODIFIED PROCTOR (AASHTO T-180 METHOD A).
 - ROADBED PROCESSING, 18" THICK, COMPACTED TO 98% OF THE STANDARD PROCTOR (AASHTO T-180 METHOD A).
 - STRIP EXISTING TOPSOIL, THICKNESS VARIES
 - TOPSOIL FROM STOCKPILE, 4" MIN. THICKNESS
 - 6" PERFORATED UNDERDRAIN PIPE W/ SOCK (AS DIRECTED BY GEOTECHNICAL ENGINEER). SEE DETAIL

TYPICAL ROADWAY SECTION
WINTHROP STREET
CORNELIA AVENUE



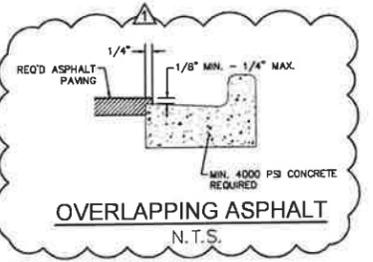
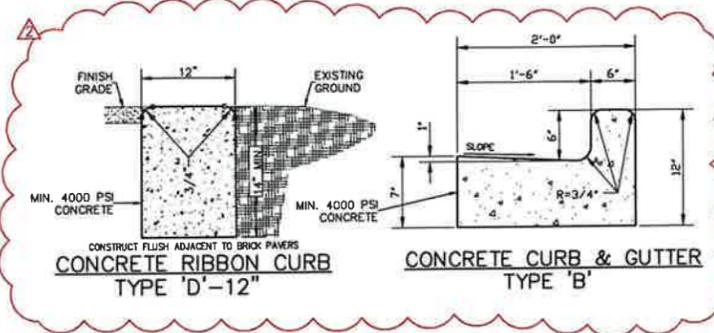
TYPICAL ALLEY SECTION
LOCKWOOD LANE
LAVINGTON LANE



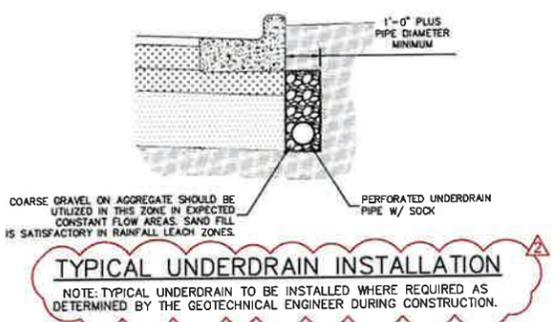
TYPICAL ALLEY SECTION
HIGHRIDGE LANE
HAVEMEYER LANE
MOFFAT LANE
HOYT LANE

ROADWAY STRUCTURE DESCRIPTION (ALLEYS)

- 424-A WEARING SURFACE, 1 1/2" MAX AGGREGATE SIZE MIX, ESAL RANGE B, 2" THICK (220 LB/SY)
- 401-A PRIME COAT, SPREAD RATE OF 0.20 GAL/SY
- SAND/CLAY BASE MATERIAL 4" THICK, UPPER COURSE, SECTION 821 GRANULAR SOIL MATERIAL, TYPE "A", 95% COMPACTION AASHTO T-180, METHOD "A".
- SAND/CLAY BASE MATERIAL 4" THICK, LOWER COURSE, SECTION 821 GRANULAR SOIL MATERIAL, TYPE "A", 95% COMPACTION AASHTO T-180, METHOD "A".
- ROADBED PROCESSING, 18" THICK.
- STRIP EXISTING TOPSOIL, THICKNESS VARIES
- TOPSOIL FROM STOCKPILE, 4" MIN. THICKNESS
- 6" PERFORATED UNDERDRAIN PIPE W/ SOCK (AS DIRECTED BY GEOTECHNICAL ENGINEER). SEE DETAIL



- ADDITIONAL CURB INFORMATION**
- 4,000 P.S.I. CONCRETE
 - EXPANSION JOINTS REQUIRED AT MAXIMUM SPACING OF 80 LF. AND ALL CURB P.T.'S AND P.C.'S.
 - CONSTRUCTION JOINTS REQUIRED AT A MAXIMUM SPACING OF 10 LF.
 - EXPANSION JOINT MATERIAL TO BE USED WHERE NEW CONSTRUCTION MEETS EXISTING.



TYPICAL UNDERDRAIN INSTALLATION
NOTE: TYPICAL UNDERDRAIN TO BE INSTALLED WHERE REQUIRED AS DETERMINED BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.

**COLONIAL TRADITIONS
PHASE 3A
VALOR COMMUNITIES
GULF SHORES, ALABAMA**

SEAL



**PRELIMINARY
NOT FOR
CONSTRUCTION**

SCALE



| NO. | DESCRIPTION | DATE |
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| ▲ | REVISED PER CITY OF GULF SHORES REVIEW COMMENTS | 2025.01.09 |
| ▲ | REVISED PER INTERNAL REVIEW | 2025.12.12 |

REVISIONS

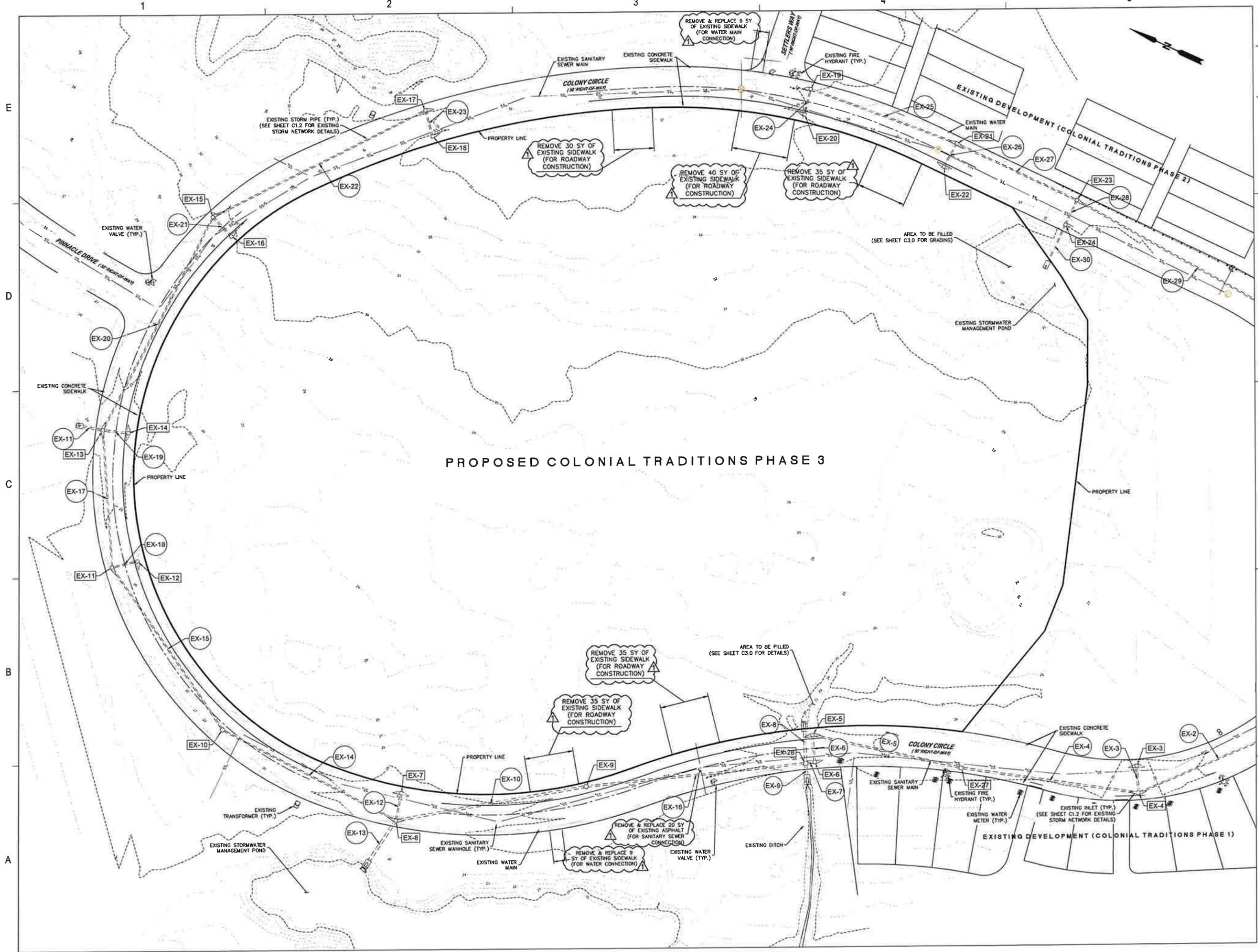
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| DRAWN BY | lsg |
| DESIGNED BY | n/a |
| APPROVED BY | jpe |
| CHECKED BY | ccb |
| DATE | December 2025 |

TITLE
**EXISTING
CONDITIONS &
DEMOLITION PLAN**

PROJECT NO. 50190518

C1.1

SHEET NO.



**COLONIAL TRADITIONS
PHASE 3A
VALOR COMMUNITIES
GULF SHORES, ALABAMA**

SEAL



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|-----|---|------------|
| 1 | REVISED PER CITY OF GULF SHORES REVIEW COMMENTS | 2025.01.09 |
| 2 | REVISED PER INTERNAL REVIEW | 2025.12.12 |

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|---------------|
| 1 | DRAWN BY | lsg |
| 2 | DESIGNED BY | lsg |
| 3 | APPROVED BY | joe |
| 4 | CHECKED BY | ccb |
| 5 | DATE | December 2025 |

**BEST MANAGEMENT
PRACTICES PLAN**

PROJECT NO. 50190518

C2.0

SHEET NO.

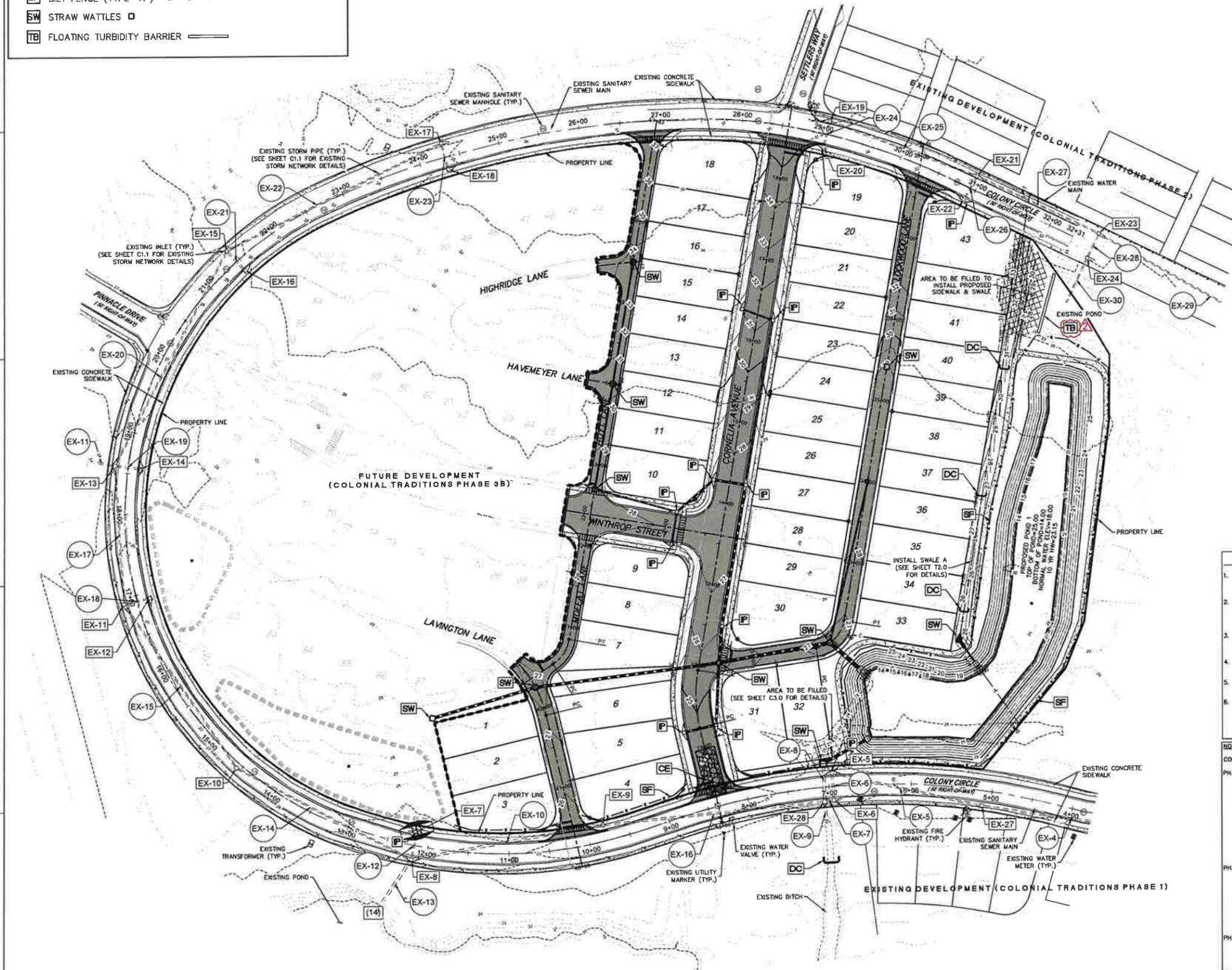
LEGEND (BMPs)

- CONSTRUCTION EXIT (20'x50' MINIMUM)
- DITCH CHECKS
- CURB INLET PROTECTION
- SILT FENCE (TYPE "A")
- STRAW WATTLES
- FLOATING TURBIDITY BARRIER

DISTURBED AREA:
7.83 ACRES

PRE-ROAD PAVING- SILT SAVER
POST-ROAD PAVING- CURB INLET PROTECTION

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- TYPICAL PRACTICES AND MAINTENANCE:**
- CONSTRUCTION EXIT**- INSTALL PRIOR TO LAND DISTURBING ACTIVITIES. GRADE, COMPACT AND ADD ROCK AS NEEDED TO MAINTAIN ADEQUATE GROUND COVER, REDUCING VEHICLE TRACKING.
 - TYPE "A" SILT FENCE**- INSTALL AS INDICATED ALONG PERIMETER OF DISTURBED AREAS. REMOVE SEDIMENT WHEN IT REACHES 3/4 HEIGHT OF FENCE. REPAIR OR REPLACE DAMAGED AREAS IMMEDIATELY TO MAINTAIN ADEQUATE RETENTION OF SEDIMENT AND PROTECTION OF SENSITIVE AREAS.
 - INLET PROTECTION**- INSTALL PRE-ROAD PROTECTION CURB INLET PROTECTION IN A TIMELY MANNER. REPAIR OR REPLACE DAMAGED OR SEDIMENT LADEN DEVICES. REMOVE SEDIMENT THAT SETTLES NEAR INLETS IMMEDIATELY.
 - DITCH CHECKS**- INSTALL STRAW WATTLES AS DITCH CHECKS PERPENDICULAR TO DITCH FLOW TO REDUCE FLOW VELOCITY EVERY 2' IN ELEVATION DROP.
 - REMOVE SEDIMENT** THAT LEAVES DISTURBED AREAS IMMEDIATELY TO PREVENT OR REDUCE OFFSITE IMPACTS, ESPECIALLY IN ROADWAYS.
 - SEED AND MULCH OR PERMANENT VEGETATION**- APPLY TEMPORARY MULCH TO AREAS LEFT DISTURBED FOR LONGER THAN 7 DAYS. APPLY TEMPORARY SEED AND MULCH IF DISTURBED FOR MORE THAN 13 DAYS. PLANT SEASONALLY APPROPRIATE VEGETATION. REPLANT AS NEEDED IF VEGETATION FAILS. INSTALL PERMANENT VEGETATION AS SOON AS FINAL GRADING COMPLETE.

- NOTES:**
- CONTRACTOR SHALL FOLLOW THE PHASING SEQUENCE BELOW:
- PHASE 1:**
- INSTALL PERIMETER SILT FENCE AND CONSTRUCTION ENTRANCE. APPLY TEMPORARY SEED AND MULCH TO AREAS LEFT DISTURBED FOR LONGER THAN 10 DAYS. PLANT SEASONALLY APPROPRIATE VEGETATION. REPLANT AS NEEDED IF VEGETATION FAILS. INSTALL PERMANENT VEGETATION AS SOON AS FINAL GRADING COMPLETE. LAKE EMBANKMENT, SWALES, AND DITCHES MUST BE SOODED. ALL DETENTION BASIN SLOPES MUST BE PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE CLEAN AND FREE OF CONSTRUCTION DEBRIS AND TRASH. ALL DEBRIS SHALL BE PLACED IN ON-SITE DUMPSTER OR REMOVED. BMP'S SHOULD BE INSPECTED WEEKLY OR AFTER RAINFALL OF 3/4" OR GREATER IN 24 HRS. ANY ITEM NEEDING MAINTENANCE SHALL BE ADDRESSED IMMEDIATELY.
 - CUT/FILL SITE TO SUB-GRADE. INSTALL ALL UNDERGROUND UTILITIES AND STORM DRAINAGE.
- PHASE 2:**
- INSTALL TEMPORARY BMP'S (SEDIMENT TRAPS, INLET PROTECTION) & PERMANENT STABILIZATION (SOO) ON ALL POND BANKS.
 - INSTALL BUILDING SLABS, CURB AND OUTER CONTAIN AND/OR REMOVE ALL CONSTRUCTION DEBRIS.
 - BMP'S SHOULD BE INSPECTED WEEKLY OR AFTER RAINFALL OF 3/4" OR GREATER IN 24 HRS. ANY ITEM NEEDING MAINTENANCE SHALL BE ADDRESSED IMMEDIATELY.
- PHASE 3:**
- ALL DISTURBED AREAS HAVE BEEN GRADED AND PERMANENT VEGETATION IS WELL ESTABLISHED IN ALL AREAS OF PROJECT.
 - ALL CONSTRUCTION DEBRIS REMOVED.
 - ALL SEDIMENT AND EROSION CONTROL DEVICES REMOVED. (SILT FENCES, SEDIMENT TRAPS, ETC.)

PLEASE NOTE:
THESE BEST MANAGEMENT PRACTICES SHEETS DEPICTED THE MINIMUM REQUIREMENTS. ADDITIONAL BMP'S MAY BE REQUIRED. SEE ADEM CBMP PLAN FOR ADDITIONAL INFORMATION.

**COLONIAL TRADITIONS
PHASE 3A
VALOR COMMUNITIES
GULF SHORES, ALABAMA**

SEAL



**PRELIMINARY
NOT FOR
CONSTRUCTION**

SCALE



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| ▲ | REVISED PER CITY OF GULF SHORES REVIEW COMMENTS | 2026.01.09 |
| ▲ | REVISED PER INTERNAL REVIEW | 2025.12.12 |

REVISIONS

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|-------------|---------------|
| DRAWN BY | lgg |
| DESIGNED BY | ccb |
| APPROVED BY | jne |
| CHECKED BY | ccb |
| DATE | December 2025 |

TITLE
**GRADING &
DRAINAGE PLAN**

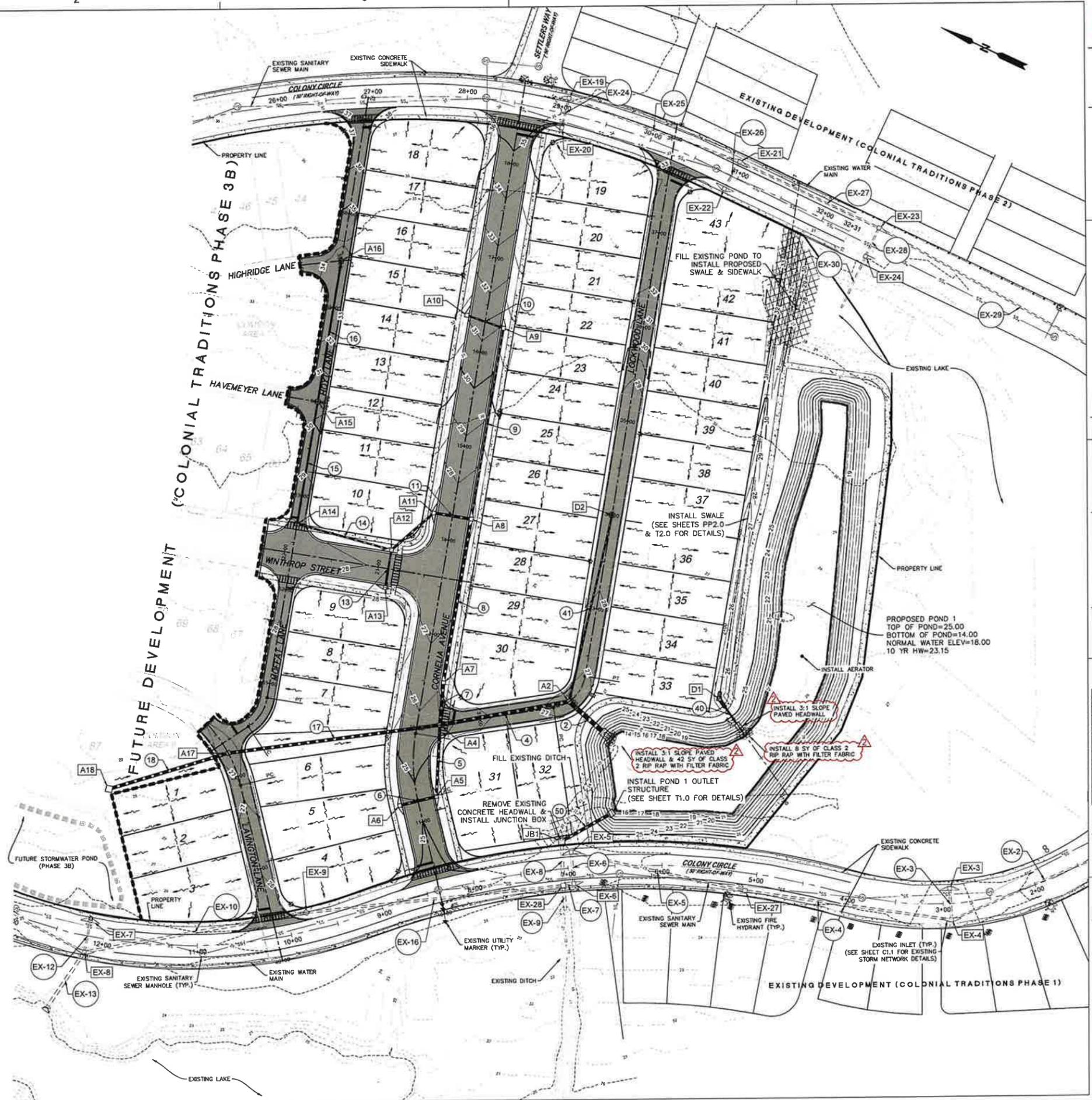
PROJECT NO. 50190518

C3.0

SHEET NO.

| ID NO. | DETAILS |
|--------|--|
| A2 | INSTALL GUTTER INLET THROAT ELEV: 16.72 PIPE 30"V ELEV IN: 21.04 (PIPE 4) PIPE 41"V ELEV IN: 21.50 (PIPE 41) INV ELEV OUT: 21.04 (PIPE 2) |
| A4 | INSTALL GUTTER INLET THROAT ELEV: 25.57 PIPE 30"V ELEV IN: 21.47 (PIPE 5) PIPE 30"V ELEV IN: 21.47 (PIPE 7) PIPE 17"V ELEV IN: 21.47 (PIPE 17) INV ELEV OUT: 21.47 (PIPE 4) |
| A5 | INSTALL S2 INLET THROAT ELEV: 24.09 PIPE 8"V ELEV IN: 21.70 (PIPE 6) INV ELEV OUT: 21.70 (PIPE 5) |
| A6 | INSTALL S2 INLET THROAT ELEV: 24.09 INV ELEV OUT: 21.84 (PIPE 6) |
| A7 | INSTALL S1 INLET THROAT ELEV: 25.64 PIPE 8"V ELEV IN: 22.30 (PIPE 8) INV ELEV OUT: 21.89 (PIPE 7) |
| A8 | INSTALL S2 INLET THROAT ELEV: 28.85 PIPE 8"V ELEV IN: 23.72 (PIPE 9) PIPE 11"V ELEV IN: 23.72 (PIPE 11) INV ELEV OUT: 23.72 (PIPE 8) |
| A9 | INSTALL S1 INLET THROAT ELEV: 30.50 PIPE 10"V ELEV IN: 24.74 (PIPE 10) INV ELEV OUT: 24.74 (PIPE 9) |
| A10 | INSTALL S1 INLET THROAT ELEV: 30.54 INV ELEV OUT: 24.84 (PIPE 10) |
| A11 | INSTALL S2 INLET THROAT ELEV: 28.85 PIPE 12"V ELEV IN: 23.92 (PIPE 12) INV ELEV OUT: 23.92 (PIPE 11) |
| A12 | INSTALL S1 INLET THROAT ELEV: 27.00 PIPE 14"V ELEV IN: 24.22 (PIPE 14) PIPE 13"V ELEV IN: 24.22 (PIPE 13) INV ELEV OUT: 24.22 (PIPE 12) |
| A13 | INSTALL S1 INLET THROAT ELEV: 27.00 INV ELEV OUT: 24.42 (PIPE 13) |
| A14 | INSTALL GUTTER INLET THROAT ELEV: 28.01 PIPE 18"V ELEV IN: 24.74 (PIPE 15) INV ELEV OUT: 24.74 (PIPE 14) |
| A15 | INSTALL GUTTER INLET THROAT ELEV: 30.00 PIPE 16"V ELEV IN: 26.00 (PIPE 16) INV ELEV OUT: 26.00 (PIPE 15) |
| A16 | INSTALL GUTTER INLET THROAT ELEV: 24.13 INV ELEV OUT: 29.62 (PIPE 16) |
| A17 | INSTALL GUTTER INLET THROAT ELEV: 26.77 PIPE 18"V ELEV IN: 22.16 (PIPE 18) INV ELEV OUT: 22.16 (PIPE 17) |
| A18 | INSTALL YARD INLET THROAT ELEV: 28.40 INV ELEV OUT: 22.50 (PIPE 18) |
| D1 | INSTALL YARD INLET THROAT ELEV: 25.00 INV ELEV OUT: 20.00 (PIPE 40) |
| D2 | INSTALL GUTTER INLET THROAT ELEV: 27.98 INV ELEV OUT: 24.00 (PIPE 41) |
| JB1 | INSTALL JUNCTION BOX THROAT ELEV: 25.00 PIPE 30"V ELEV IN: 17.56 (PIPE 50) |

| PIPE NAME | SIZE |
|--|------|
| INSTALL 58 LF OF 31.3"x51.1" ARCP INV ELEV IN: 21.04 INV ELEV OUT: 18.00 SLOPE: 5.28% | 2 |
| INSTALL 134 LF OF 26.6"x43.75" ARCP INV ELEV IN: 21.47 INV ELEV OUT: 21.04 SLOPE: 0.31% | 4 |
| INSTALL 71 LF OF 18"x28.5" ARCP INV ELEV IN: 21.70 INV ELEV OUT: 21.47 SLOPE: 0.31% | 5 |
| INSTALL 37 LF OF 18"x28.5" ARCP INV ELEV IN: 21.84 INV ELEV OUT: 21.70 SLOPE: 0.35% | 6 |
| INSTALL 41 LF OF 22.5"x36.25" ARCP INV ELEV IN: 21.69 INV ELEV OUT: 21.47 SLOPE: 0.50% | 7 |
| INSTALL 171 LF OF 30" RCP INV ELEV IN: 23.72 INV ELEV OUT: 22.50 SLOPE: 0.70% | 8 |
| INSTALL 200 LF OF 18" RCP INV ELEV IN: 24.74 INV ELEV OUT: 23.72 SLOPE: 0.50% | 9 |
| INSTALL 37 LF OF 18" RCP INV ELEV IN: 24.84 INV ELEV OUT: 24.74 SLOPE: 0.50% | 10 |
| INSTALL 37 LF OF 30" RCP INV ELEV IN: 23.92 INV ELEV OUT: 23.72 SLOPE: 0.50% | 11 |
| INSTALL 55 LF OF 24" RCP INV ELEV IN: 24.22 INV ELEV OUT: 23.92 SLOPE: 0.50% | 12 |
| INSTALL 37 LF OF 18" RCP INV ELEV IN: 24.42 INV ELEV OUT: 24.22 SLOPE: 0.50% | 13 |
| INSTALL 100 LF OF 18" RCP INV ELEV IN: 24.74 INV ELEV OUT: 24.22 SLOPE: 0.50% | 14 |
| INSTALL 126 LF OF 18" RCP INV ELEV IN: 26.00 INV ELEV OUT: 24.74 SLOPE: 0.97% | 15 |
| INSTALL 148 LF OF 18" RCP INV ELEV IN: 29.62 INV ELEV OUT: 26.00 SLOPE: 2.42% | 16 |
| INSTALL 221 LF OF 36" RCP INV ELEV IN: 22.16 INV ELEV OUT: 21.47 SLOPE: 0.31% | 17 |
| INSTALL 126 LF OF 36" RCP INV ELEV IN: 22.16 INV ELEV OUT: 22.55 SLOPE: 0.29% | 18 |
| INSTALL 39 LF OF 18" RCP INV ELEV IN: 20.00 INV ELEV OUT: 19.00 SLOPE: 2.56% | 40 |
| INSTALL 196 LF OF 18" RCP INV ELEV IN: 24.00 INV ELEV OUT: 21.50 SLOPE: 1.24% | 41 |
| INSTALL 57 LF OF 36" RCP INV ELEV IN: 18.00 INV ELEV OUT: 17.56 SLOPE: 0.73% | 50 |



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**COLONIAL TRADITIONS
PHASE 3A
VALOR COMMUNITIES
GULF SHORES, ALABAMA**

SEAL



**PRELIMINARY
NOT FOR
CONSTRUCTION**

SCALE



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| ▲ | REVISED PER CITY OF GULF SHORES REVIEW COMMENTS | 2025.01.09 |
| ▲ | REVISED PER INTERNAL REVIEW | 2025.12.12 |

REVISIONS

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|-------------|---------------|
| DRAWN BY | lgb |
| DESIGNED BY | ccb |
| APPROVED BY | jpe |
| CHECKED BY | ccb |
| DATE | December 2025 |

TITLE
SPOT GRADING & FFE PLAN

PROJECT NO. 50190518

C3.1

SHEET NO.

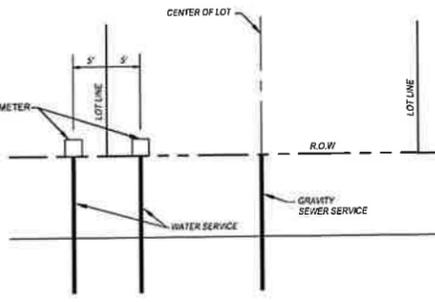


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NOTE: ALL FIRE HYDRANTS TO BE MUELLER MANUFACTURER.

NOTE: ALL UTILITY INSTALLATIONS (WATER & SEWER) SHALL CONFORM WITH GULF SHORES UTILITIES SPECIFICATIONS IN PLACE AT THE TIME OF THE PRE-CONSTRUCTION MEETING.



WATER SERVICE & SEWER LATERAL LOCATION PLAN

NOTE: LOCATION OF THE WATER SERVICES AND SANITARY SEWER LATERALS SHALL BE MARKED IN THE CONCRETE GUTTER WITH THE LETTER "W" FOR WATER SERVICE AND "S" FOR THE SEWER LATERALS

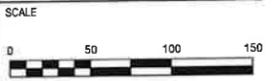


2533 FRIENDSHIP ROAD
DAWNE, AL 36528
251.991.9590

**COLONIAL TRADITIONS
PHASE 3A
VALOR COMMUNITIES
GULF SHORES, ALABAMA**



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| 1 | REVISED PER CITY OF GULF SHORES REVIEW COMMENTS | 2025.01.09 |
| 2 | REVISED PER INTERNAL REVIEW | 2025.12.12 |

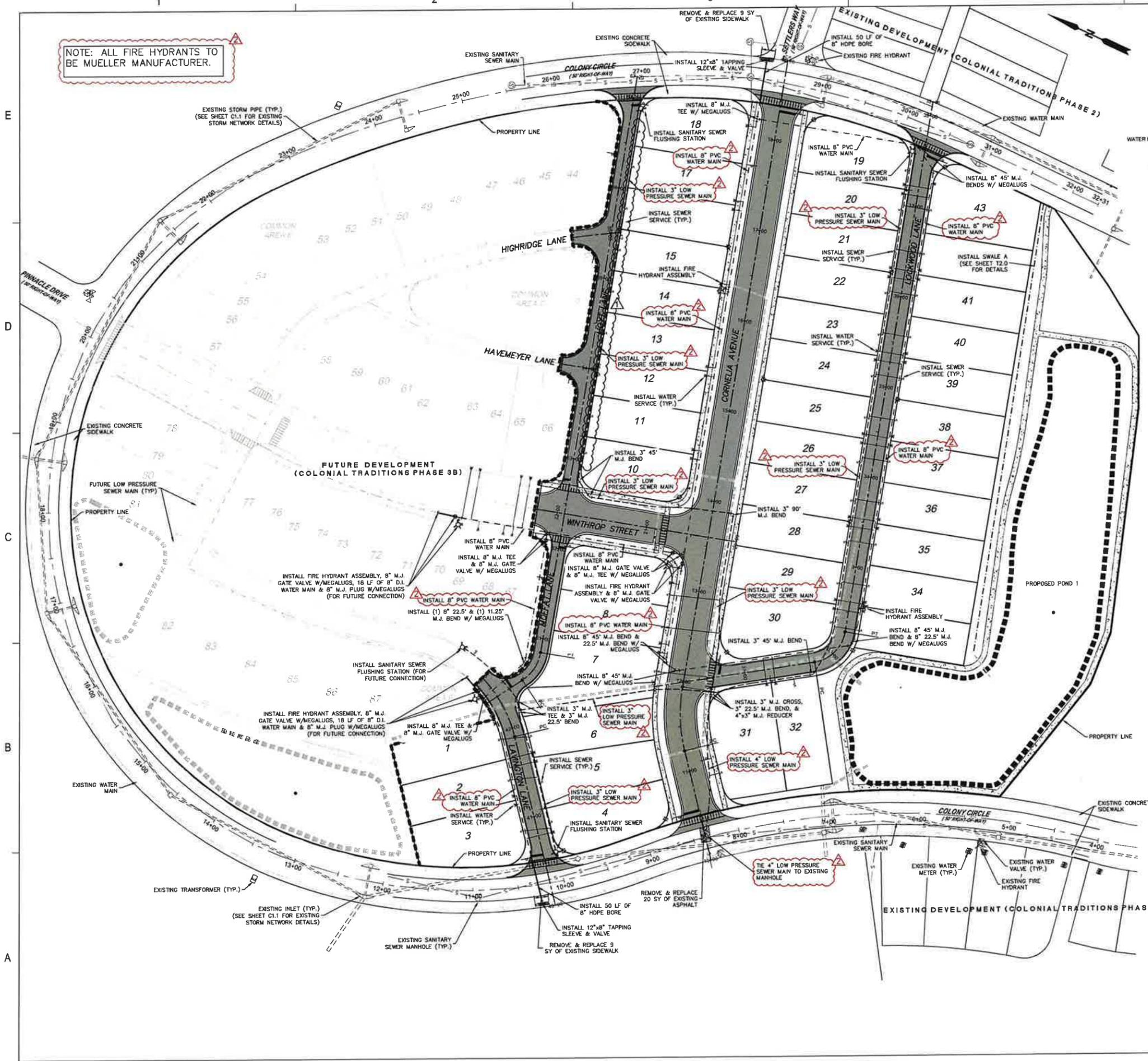
| REVISIONS | |
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| DRAWN BY | tgj |
| DESIGNED BY | ccb |
| APPROVED BY | jne |
| CHECKED BY | ccb |
| DATE | December 2025 |

TITLE
WATER AND SEWER PLAN

PROJECT NO. 50190518

C4.0

SHEET NO.



**COLONIAL TRADITIONS
PHASE 3A**
VALOR COMMUNITIES
GULF SHORES, ALABAMA



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| ▲ | REVISED PER INTERNAL REVIEW | 2025.12.12 |
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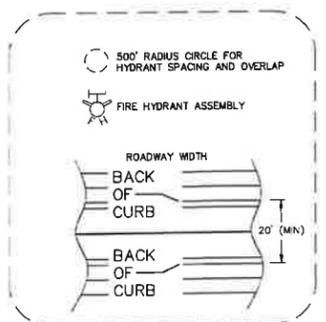
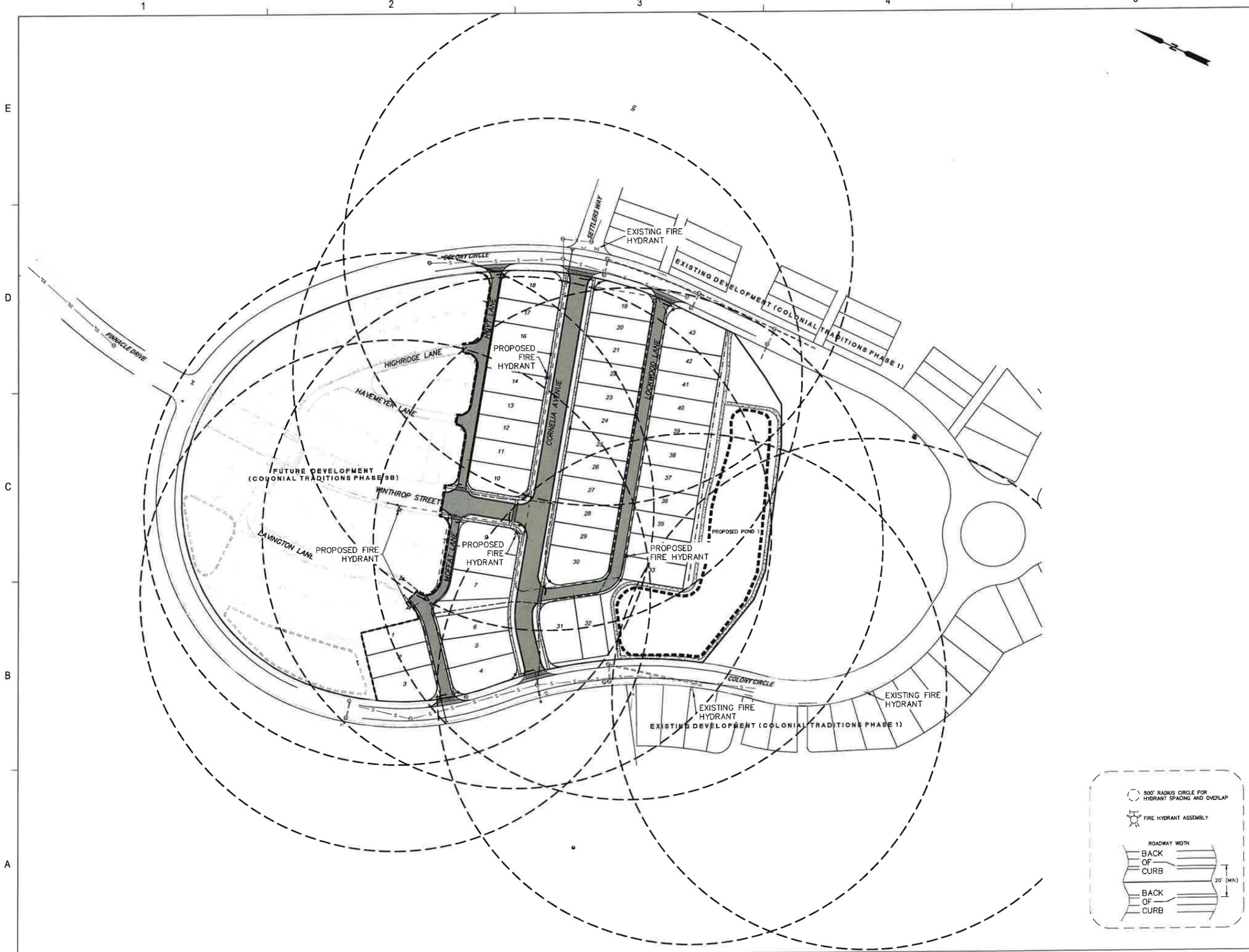
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| DESIGNED BY | _____ | tgg/lcb |
| APPROVED BY | _____ | jne |
| CHECKED BY | _____ | ccb |
| DATE | _____ | December 2025 |

TITLE
FIRE SAFETY PLAN

PROJECT NO. 50190518

C4.1

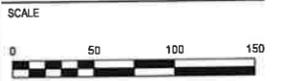
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**COLONIAL TRADITIONS
PHASE 3A
VALOR SHORES COMMUNITIES
GULF SHORES, ALABAMA**



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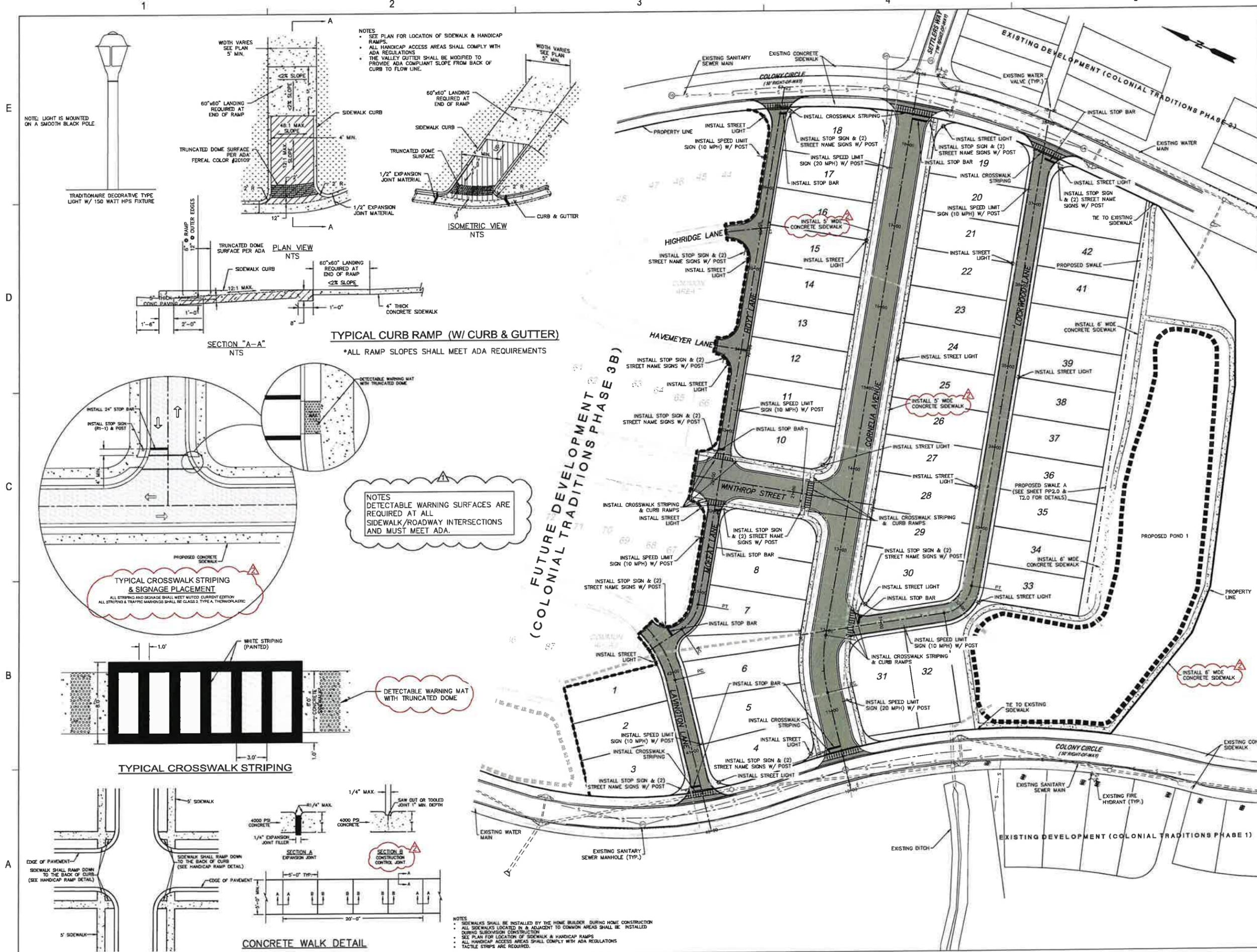
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| DRAWN BY | tgglcbb |
| DESIGNED BY | tgj |
| APPROVED BY | jne |
| CHECKED BY | ccb |
| DATE | December 2025 |

**TITLE
SIDEWALK, SIGNAGE
& LIGHTING PLAN**

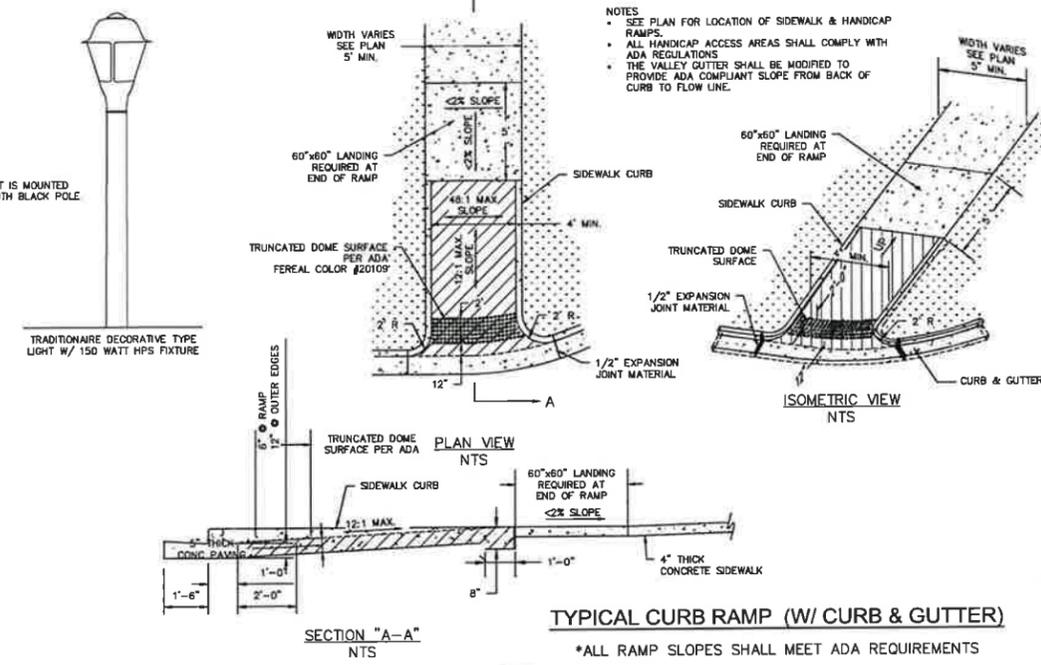
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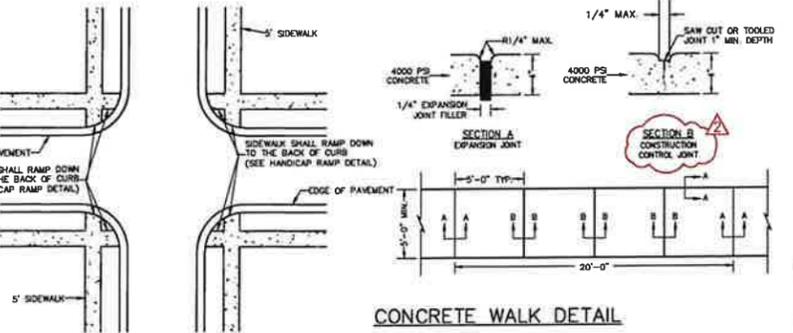
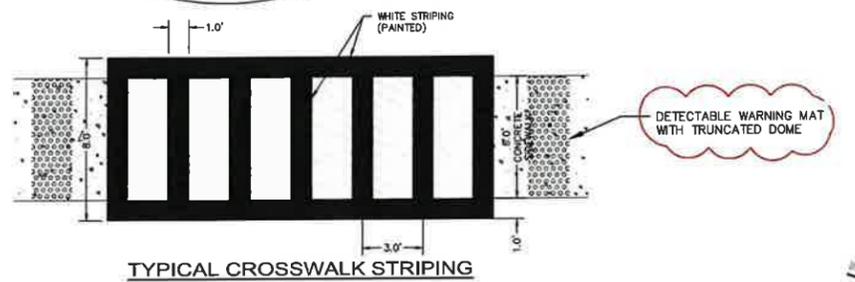
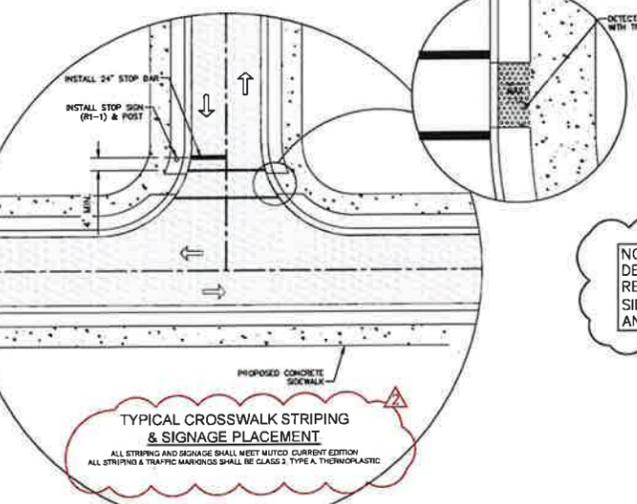
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NOTES
 SEE PLAN FOR LOCATION OF SIDEWALK & HANDICAP RAMP.
 ALL HANDICAP ACCESS AREAS SHALL COMPLY WITH ADA REGULATIONS.
 THE VALLEY GUTTER SHALL BE MODIFIED TO PROVIDE ADA COMPLIANT SLOPE FROM BACK OF CURB TO FLOW LINE.



NOTES
 DETECTABLE WARNING SURFACES ARE REQUIRED AT ALL SIDEWALK/ROADWAY INTERSECTIONS AND MUST MEET ADA.



NOTES
 SIDEWALKS SHALL BE INSTALLED BY THE HOME BUILDER DURING HOME CONSTRUCTION.
 ALL SIDEWALKS LOCATED IN & ADJACENT TO COMMON AREAS SHALL BE INSTALLED DURING SUBDIVISION CONSTRUCTION.
 SEE PLAN FOR LOCATION OF SIDEWALK & HANDICAP RAMP.
 ALL HANDICAP ACCESS AREAS SHALL COMPLY WITH ADA REGULATIONS.
 TACTILE STRIPS ARE REQUIRED.

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
Colonial Traditions Ph. 3a
Gulf Shores, Alabama

| Revisions | | |
|-----------|-------|-------------------------|
| No. | Date | Revisions / Submissions |
| 12 | 08.25 | CITY SUBMITTAL |
| 01 | 16.26 | CITY SUBMITTAL |
| 02 | 13.26 | CITY SUBMITTAL |

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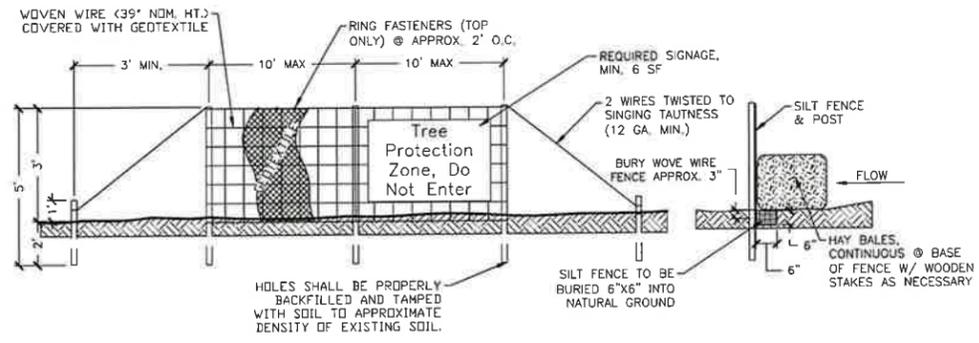
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| BC | Registration |
| Drawn | |
| VTV | |
| Project Manager | |
| LCW | |
| Principal | |
| 253554-001 | MEMBER 518 |
| Project No. | |
| 12.08.25 | |
| Date | |

Sheet Title

TREE PRESERVATION & REMOVAL PLAN

Sheet No.

TP100

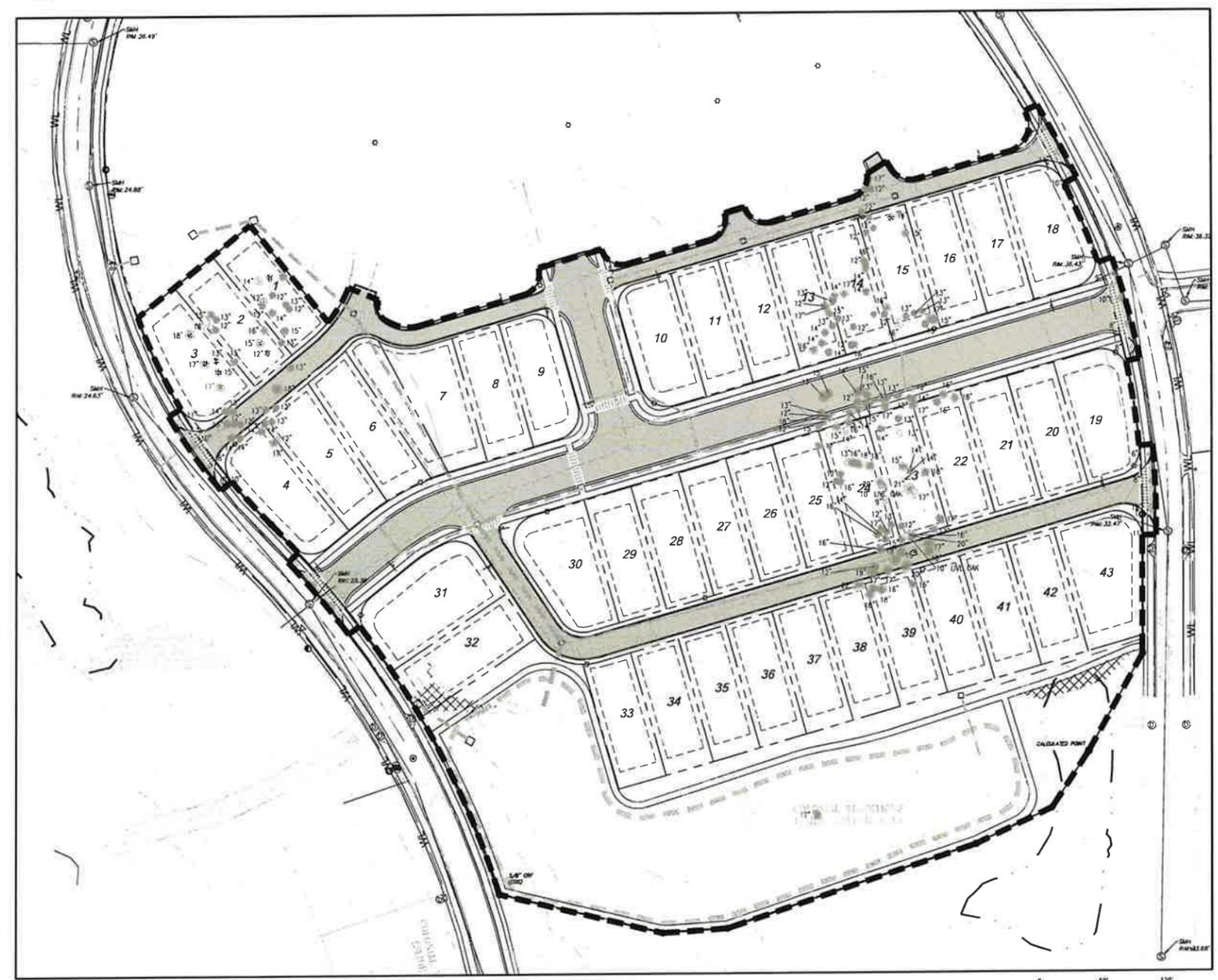


- NOTES**
- FENCING TO BE INSTALLED PRIOR TO CONSTRUCTION. FENCING TYPE SHALL BE SILT FENCE & HAY BALES. NO ENTRY, STORAGE, TEMPORARY PARKING, OR DISTURBANCE IS ALLOWED WITHIN THE PROTECTED AREA.
 - THE FENCE SHALL BE ERECTED W/ A MIN. DISTANCE OF 20' FROM THE TRUNKS OF HERITAGE TREES & 10' FROM ALL OTHER RETAINED TREES. IF INSTALLING UNDERGROUND UTILITIES NEAR TREE ROOTS BECOMES A HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER TREE ROOTS.
 - ALL ROOTS TO BE REMOVED DURING SITE CLEARING &/OR CONSTRUCTION SHALL BE SEVERED CLEANLY AT THE PERIMETER OF THE PROTECTED RADIUS.
 - FOOTERS FOR WALLS SHALL END AT THE POINT WHERE LARGE ROOTS ARE ENCOUNTERED, AND THE ROOTS SHALL BE BRIDGED. POST HOLES AND TRENCHES LOCATED CLOSE TO RETAINED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
 - FENCING CANNOT BE REMOVED UNTIL LAND ALTERATION, SITE CLEARING, AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
 - TREE PROTECTION SIGNAGE TO BE A MINIMUM OF 6 SQUARE FEET READING "Tree Protection Zone, Do Not Enter"

2 TREE PROTECTION FENCE - GULF SHORES

1/2" = 1'-0"

329343.06-08



TREE PRESERVATION NOTES

- TREE SURVEY DISCLAIMER:**
- ALL TREE SURVEY INFORMATION HAS BEEN PROVIDED TO LANDSCAPE ARCHITECT BY DEWBERRY.
- TREE PRESERVATION/REMOVAL NOTES:**
- ALL TREES PROPOSED FOR REMOVAL ARE IN A SHADE OF GRAY & ALL TREES TO BE PRESERVED ARE SHOWN IN BLACK.
 - TREES SHOWN FOR REMOVAL WITHIN THE IMPROVEMENT AREA ARE NOT INCLUDED IN TREE REMOVAL CALCULATIONS.
 - IF TREE PROTECTION REQUIRED, REFER TO DETAIL 2/1P100 FOR TREE PROTECTION FENCING INSTALLATION.

GENERAL NOTES

- CLEARING OF OPEN SPACE:**
- ALL OPEN SPACE AREAS ARE TO BE CLEARED AND SODDED FOR ACTIVE RECREATIONAL ACTIVITIES.

1 TREE PRESERVATION & REMOVAL PLAN

Scale: 1" = 60'

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
Colonial Traditions Ph. 3a
Gulf Shores, Alabama

| Revisions | | |
|-----------|------|-------------------------|
| No. | Date | Revisions / Submissions |
| 12.08.25 | | CITY SUBMITTAL |
| 01.16.26 | | CITY SUBMITTAL |
| 02.13.26 | | CITY SUBMITTAL |
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| | |
|-----------------|--------------|
| BC | Registration |
| Drawn | |
| VITW | |
| Project Manager | |
| LCW | |
| Principal | |
| 253554-001 | |
| Project No. | |
| 12.08.25 | |
| Date | |

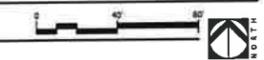
Sheet Title

**LANDSCAPE
PLANTING PLAN**

Sheet No.
LP100



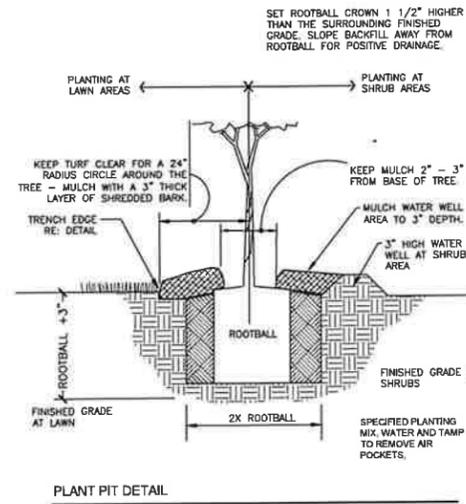
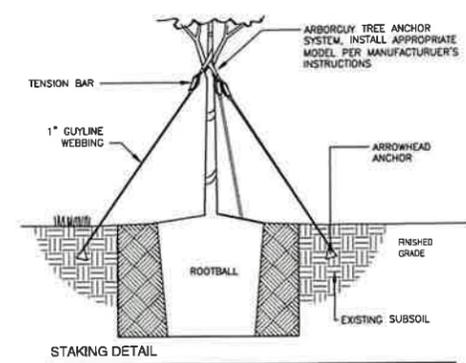
| SUBDIVISION REGULATIONS | | |
|--|---------------------|---------------------------------------|
| LANDSCAPING REQ. (6-6.C.2, STREET TREES) | | |
| 1 tree every | 100 LF | in alternating pattern |
| Neighborhood Street Trees provided, see landscape plan | | |
| LANDSCAPING REQ. (6-6.C.4, LAKES & RETENTION/DETENTION AREAS) | | |
| 3 trees per | 100 LF of perimeter | @ 1363.0 LF = 40.89 trees |
| | | Total Trees Required: 41 trees |
| | | Total Trees Provided: 41 trees |
| Provide native deep-rooted shoreline plantings | | |
| Shoreline plantings provided, see landscape plan | | |



NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Colonial Traditions Ph. 3a
Gulf Shores, Alabama

| PLANT SCHEDULE | | | | | | | | |
|-----------------|------|-----------|-------------------------------|--------------------------|-------------|-----|----------|-----------------------------|
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | HT | REMARKS |
| TREES | | | | | | | | |
| | LT | 33 | LIRIODENDRON TULIPIFERA | TULIP TREE | B&B OR CONT | 3" | 12' | FULL HEAD, SPECIMEN QUALITY |
| | QN | 27 | QUERCUS NUTTALLII | NUTTALL OAK | B&B OR CONT | 3" | 12' | FULL HEAD, SPECIMEN QUALITY |
| | QV | 11 | QUERCUS VIRGINIANA | SOUTHERN LIVE OAK | B&B OR CONT | 3" | 12' | FULL HEAD, SPECIMEN QUALITY |
| | TD | 15 | TAXODIUM DISTICHUM | BALD CYPRESS | B&B OR CONT | 3" | 12' | FULL HEAD, SPECIMEN QUALITY |
| SHRUBS | | | | | | | | |
| | MC3 | 33 | MYRICA CERIFERA | COMMON WAX MYRTLE | 3 GAL | | 72" o.c. | SHRUB FORM, FULL TO GROUND |
| | SB | 33 | VIBURNUM ODO RATISSIMUM | SWEET VIBURNUM | 3 GAL | | 48" o.c. | |
| GRASSES | | | | | | | | |
| | SB3 | 105 | SPARTINA BAKERI | SAND CORD GRASS | 3 GAL | | 48" o.c. | |
| SOD/SEED | | | | | | | | |
| | SOD | 54,768 SF | CYNODON DACTYLON 'TIFWAY 419' | TIFWAY 419 BERMUDA GRASS | SOD | | | |



- GENERAL CONDITIONS:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
 - ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION**
- PLANTING SOIL SHALL BE CREATED BY AMENDING TOPSOIL WITH THE ADDITION OF COMPOST. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
 - INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G. LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS REQUIRED PER SOIL TEST (IF REQUESTED BY OWNER).
 - RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - WATER THOROUGHLY AFTER PLANTING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.
- PLANT MATERIAL AND PLANTING**
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
 - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REJECTION BY THE OWNER OR LANDSCAPE ARCHITECT AT ANY TIME.
 - PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
 - UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
 - FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
 - NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
 - ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH.
 - 3" DEPTH PINE BARK
 - 4" DEPTH SHREDDED HARDWOOD MULCH
 - 3" DEPTH LONG LEAF PINESTRAW, SETTLED
 - TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
 - TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
 - ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

3 TREE PLANTING - GUY STRAP
1" = 1'-0" 329343.26-02

4 GENERAL PLANTING NOTES
1" = 1" 329399-01

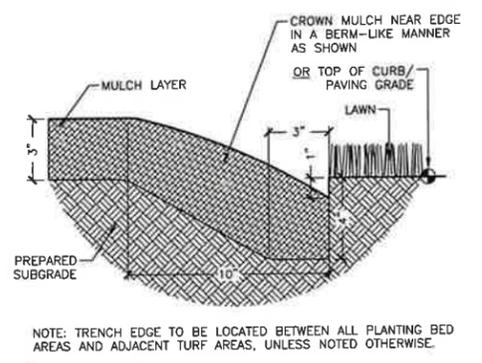
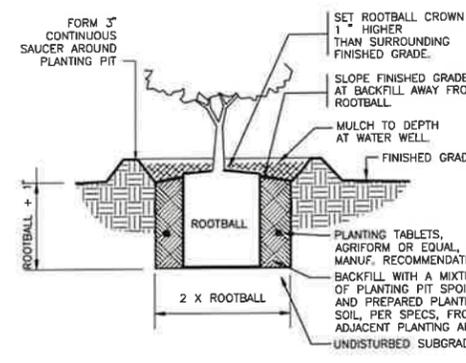
QUANTITY TAKEOFF DISCLAIMER:
QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

GENERAL NOTES

STREET TREE LOCATION DISCLAIMER:
1. DUE TO CITY REQUIREMENTS OF INTERNAL STREET TREES TO BE LOCATED WITHIN RIGH. WAYS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE TO UTILITIES AND/OR HARDSCAPE SURFACES WHERE TREES ARE TO BE LOCATED.

800-292-8525
#DIG (Cellular)
Dig Safely. **Alabama 1 Call**

IRRIGATION NOTE:
ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.



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BC
Drawn
VTW
Project Manager
LCW
Principal
253554-001
Project No.
12.08.25
Date

Registration
STATE OF ALABAMA
LESTER CHAD WATSON
REGISTERED LANDSCAPE ARCHITECT
MEMBER 518